

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
FEBRUARY 11, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(1) Approval of Minutes for the January 14, 2025 Planning and Zoning Commission meeting.

(2) Approval of Minutes for the January 28, 2025 Planning and Zoning Commission meeting.

(IV) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(3) **Z2024-061 (BETHANY ROSS) [APPLICANT IS REQUESTING TO WITHDRAW THE CASE]**

Hold a public hearing to discuss and consider a request by Adam Buczek of the Skorburg Company on behalf of Dr. Karl Erwin of the Estate of Karl W. Erwin for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 101.43-acre tract of land identified as Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas zoned Agricultural (AG) District, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

(4) **Z2025-001 (HENRY LEE) [APPLICANT IS REQUESTING TO WITHDRAW THE CASE]**

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval of a PD Development Plan for eight (8) Townhomes on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict and the Residential Subdistrict, generally located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

(5) **Z2025-002 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Lee Wickland of Wickland's Sweet Connection on behalf of Windy Busher of Revive for the approval of a Specific Use Permit (SUP) for a General Retail Store and Limited Service Restaurant on a 0.1617-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

(6) **Z2025-003 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Trenton Austin of GT Plumbing Services, LLC on behalf Tim Connolly of Connolly Squared, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [Ordinance No. 21-32] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(7) **SP2025-001 (BETHANY ROSS)**

Discuss and consider a request by Brian Baca of ADV Rockwall John King Property Owner, LLC for the approval of an Amended Site Plan for a Mini-Warehouse Facility on a 3.682-acre parcel of land identified as Lot 1, Block A, Cambridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, addressed as 1689 & 1705 John King Boulevard and 1711 SH-276, and take any action necessary.

(VI) DISCUSSION ITEMS

(8) Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2025-001: Replat for Lot 12, Block A, The Meadows Addition (**APPROVED**)
- P2025-002: Final Plat for Lots 1-4, Block A, Fox-Harris Addition (**APPROVED**)
- Z2024-062: Amendment to Planned Development District 50 (PD-50) (**2ND READING; APPROVED**)
- Z2024-064: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 178 Lynne Drive (**2ND READING; APPROVED**)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on February 7, 2025 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
JANUARY 14, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

I. CALL TO ORDER

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8 Chairman Deckard called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Womble, Ross Hustings, Dr. Jean
9 Conway, Kyle Thompson, Jay Odom and John Hagaman. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner
10 Henry Lee, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, Assistant City Engineer Jonathan
11 Browning and Civil Engineer Madelyn price. Absent from the meeting was City Engineer Amy Williams.

II. OPEN FORUM

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15 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public*
16 *hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens.*
17 *On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your*
18 *comments during the meeting per the Texas Open Meetings Act.*

19
20 Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being
21 no one indicating such Chairman Deckard closed the open forum.

III. CONSENT AGENDA

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23 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified*
24 *Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

1. Approval of Minutes for the December 30, 2024 Planning and Zoning Commission meeting.

2. P2024-042 (HENRY LEE)

31 Consider a request by Brian Cramer of CCD – Rockwall, LLC for the approval of a Preliminary Plat for the Southside Hills Subdivision
32 consisting of 384 single-family residential lots on a 262.94-acre tract of land identified as Tracts 17-13, 17-14, 17-15, 17-16, & 40-8 of the
33 W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 99 (PD-99) for Single-
34 Family 10 (SF-10) and limited General Retail (GR) District land uses, located on the east side of SH-205 [S. Goliad Street] south of the
35 intersection of SH-205 and FM-549, and take any action necessary.

3. P2024-043 (HENRY LEE)

37 Consider a request by Brian Cramer of CCD – Rockwall, LLC for the approval of a Master Plat for the Southside Hills Subdivision consisting
38 of 384 single-family residential lots on a 262.94-acre tract of land identified as Tracts 17-13, 17-14, 17-15, 17-16, & 40-8 of the W. W. Ford
39 Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 99 (PD-99) for Single-Family 10
40 (SF-10) and limited General Retail (GR) District land uses, located on the east side of SH-205 [S. Goliad Street] south of the intersection of
41 SH-205 and FM-549, and take any action necessary.

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44 Commissioner Conway made a motion to approve the Consent Agenda. Vice-Chairman Womble seconded the motion which passed by a vote of 7-
45 0

IV. PUBLIC HEARING ITEMS

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49 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this*
50 *section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff).*
51 *The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would*
52 *like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

4. Z2024-061 (BETHANY ROSS)

53
54 Hold a public hearing to discuss and consider a request by Adam Buczek of the Skorburg Company on behalf of Dr. Karl Erwin of the Estate
55 of Karl W. Erwin for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family
56 10 (SF-10) District land uses on a 101.43-acre tract of land identified as Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall,
57 Rockwall County, Texas zoned Agricultural (AG) District, generally located on the southside of North Country Lane east of the intersection
58 of North Country Lane and FM-1141, and take any action necessary.

61 Planner Bethany Ross provided a brief summary in regard to the applicants request. The applicant is requesting a Zoning Change from AG to PD for
62 a Single-Family 10 (SF-10) land uses. The concept plan shows that the 101.43-acre property will consist of 203 residential lots made out of 5 lot sizes.
63 These lots consist of 97 x 72-foot lot., 75 x 82-foot lots and three (3) 100 x 120-foot lots and 127 x 150-foot lots and one (1) 2-acre lot that will be
64 retained for the property owner. This translates to a gross density of 2.00 dwelling units per acre. The minimum dwelling unit size for each property
65 will be 2800 SF for all homes in the Planned Development. In regard to the housing product staff has incorporated anti-monotony and 100% masonry
66 for all homes. In regard to the garage orientation for the development the applicant is requesting to allow a total of 20% of the type A lots or the 72-
67 foot lots or an overall percentage of 9.36% of all garages to be flat front entry. The proposed concept plan shows that the development will consist
68 of a total of 29.15 acres of open space. In addition, the applicant has incorporated an 8-foot trail along the north country lane. The applicant has also
69 incorporated an 8-foot walking trail through the development. Based on the concept plan the applicant will be required to construct all residential
70 streets to a residential two-lane undivided highway standard. Install all sewer and water infrastructure and dedicate any necessary easement, master
71 water distribution plan and the City's waste water collection plan an improved infrastructure study. The applicant will also be required to provide
72 detention outside the flood plain and erosion hazard setback. The Unified Development Code (UDC) requires single-family garages to be 20 feet
73 behind the front façade. The applicant proposes the following alternatives to meet the code requirements. Instead of allies the applicant plans to
74 90.64 front entry garage and 9.365 flat front entry garage with a minimum of 25-foot building setbacks. According to the land use plan contained in
75 the comprehensive plan the subject property is located in the north east residential district and is designated for low residential land uses as
76 residential subdivisions that are 2 units per gross acre. However, a density of 2 ½ units per acre may be permitted for developments that incorporate
77 increased amenity and a mix of land uses. In this case, the applicant is proposing a total density of 2.00 units per acre. Based on this, the applicants
78 request is in conformance with the low-density residential designation indicated for the subject property within the comprehensive plan. In addition,
79 the applicant is proposing to incorporate walking trails and 22.4% open space as well as amenities that feature outdoor exercise. The original request
80 for development failed to meet key goals and policies in the comprehensive plan. The comprehensive plan also states that new developments should
81 match or exceed the quality of surrounding areas. Staff has received twenty (20) notices in opposition of the applicants request. Staff also received
82 nine (9) notices in favor one (1) of which was the property owner and five additional notices in favor that can not be verified as occupants of the
83 City.

84
85 Adam Buczeck
86 8214 Westchester Drive
87 Suite 900
88 Dallas, TX 75225
89

90 Mr. Buczek came forward and provided a brief summary. He went over location, comprehensive plan the adjacent compatibility, project features and
91 representative product.

92
93 Director of Planning and Zoning Ryan Miller explained that there was a third issue and that was district strategy that states that the new development
94 should consist of medium to larger size lots and they did not feel like they met it therefore they wouldn't be able to 't say it meets the comprehensive
95 plan.

96
97 Vice-Chairman Womble asked what is considered a medium to larger lot size.

98
99 Commissioner Hustings asked if there is still a recommendation from staff to have an amenity center.

100
101 Chairman Deckard opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.

102
103 Zach Luiz
104 820 Clem Road
105 Rockwall, TX 752087
106

107 Mr. Luiz came forward and expressed his concerns in regard to the applicants request. He explained that this is one of the last rural areas in Rockwall.

108
109 Gabriel Swiatkiewicz
110 2231 Sanderson lane
111 Rockwall, TX 75087
112

113 Mr. Swiatkiewicz came forward and expressed his concerns in regards to the lot sizes.

114
115 David Turnham
116 950 Clem Road
117 Rockwall, TX 75087
118

119 Mr. Turnham came forward and expressed he was in opposition since he wants the lot numbers to be reduced.

120
121 Zach Butler
122 9 Crestview
123 Rockwall, TX 75087
124

125 Mr. Butler came forward and expressed being in opposition to the applicants request.

126
127
128

129 Melba Jeffus
130 2606 Cypress Drive
131 Rockwall, TX 75087
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133 Mrs. Jeffus came forward and expressed her concerns in regards to the developer in charge of the project. Explained that the same developer for
134 this project is the developer that built her home and they have issues in their subdivision. Expressed she is in opposition.
135

136 Stan Jeffus
137 2606 Cypress Drive
138 Rockwall, TX 75087
139

140 Mr. Jeffus came forward and expressed this would be a high-density neighborhood also explained there is erosion problems at Ridgecrest and the
141 same developer who developed that subdivision is the same developer for this current case.
142

143 Chairman Deckard asked if anyone who wished to come forward at this time, there being no one indicating such Chairman Deckard closed the Public
144 Hearing and brought the item back for discussion or action.
145

146 Mr. Buzcek came forward and explained that Ridgecrest community is a large lot community. Explained there's no curve and gutter for storm.
147 Explained it was accepted from the City on April 3, 2018. Explained they had to build in conformance to the City's plan. In the first quarter of 2020
148 the Mayor reached out to Mrs. Buzcek and requested to come out with his team and outside engineer to have a meeting with staff.
149

150 Commissioner Conway explained her concern in regard to the large lots and is concerned about the traffic of Rockwall.
151

152 Commissioner Odom explained his concern to the lot sizes.
153

154 Chairman Deckard asked what lot sizes were needed for the commission to approve the project.
155

156 Commissioner Thompson explained he would agree that everything around the subject property is greater than the lot sizes being presented.
157

158 Commissioner Hagaman explained he agrees with the larger lot sizes but explained there needs to be a mark of what is medium lots and what is
159 larger lots.
160

161 Mr. Buczeck asked if he can table his case.
162

163 Chairman Deckard made a motion to table Z2024-061 for 4 weeks for the February 11, 2024. Commissioner Conway seconded the motion which was
164 tabled by a vote of 7-0.
165
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167 5. Z2024-062 (HENRY LEE)

168 Hold a public hearing to discuss and consider a request by Tzemach Moshe Kalmenson for the approval of a Zoning Change amending Planned Development
169 District 50 (PD-50) [Ordinance No. 23-60] to incorporate an additional 0.2010-acre parcel of land and amend the land uses for the purpose of allowing the
170 House of Worship land use by Specific Use Permit (SUP) within the district being a 21.467-acre tract of land situated within the S. S. McCurry Survey, Abstract
171 No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for
172 Residential-Office (RO) District land uses and Single-Family 10 (SF-10) District, situated within the North Goliad Corridor Overlay (NGC OV) District, generally
173 located along N. Goliad Street [SH-205] north of Olive Street and south of Live Oak Street, and take any action necessary.
174

175 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting to add the church of worship
176 land use to Planned Development District 50 (PD-50). Last year the commission looked at a similar request and it was same district Planned
177 Development District 50 (PD-50) however, they wanted to add the general personal service land use to this district as well through a specific use
178 Permit (SUP). It will be allowed through a SUP process on a case by case basis. In addition, in adding this to the district the applicant is requesting
179 to add 918 N. Alamo to Planned Development District 50 (PD-50) it is currently zoned Single-Family 7 (SF-7) District but they wish to incorporate it.
180 This being a zoning case staff mailed out 382 notices to property owners and occupants within 500 feet of the subject property. At this time, there
181 was five (5) notices in opposition to this request.
182

183 Commissioner Hustings asked why this would be Specific Use Permit (SUP)
184

185 Senior Planner Henry Lee explained the district does not allow the use currently.
186

187 Tzemach Kalmenson
188 1950 Hidden Valley
189 Rockwall, TX 75032
190

191 Mr. Kalmenson came forward and explained that he is currently operating from home and needs a bigger space for his synagogue.
192

193 Commissioner Conway asked what size is the structure that is currently there.
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195 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to do so at this time. There being no one indicating such,
196 Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action

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Vice-Chairman Womble made a motion to approve Z2024-062. Commissioner Conway seconded the motion which passed by a vote of 7-0.

6. Z2024-064 (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by Inocencio Barron on behalf of Ariel Palacios for the approval of a *Specific Use Permit (SUP)* for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 910-A0 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. The applicant is requesting approval for a Specific Use Permit (SUP) for the purpose of constructing a single-family home. When looking at the building elevations the proposed home seems to be in conformance with the zoning district with the exception of two (2) variances. They are the garage orientation and the exterior material. The garage is located 4 feet in front of the front façade of the home opposed to the 20 feet behind the front façade of the home. Additionally, the proposed home does not meet the requirement for exterior material. Specifically, it exceeds the maximum amount of Cementitious material by 32%. Staff should not that there are other examples of newer homes in the subdivision that exceed these requirements. However, this and the request o deviate the garage orientation standards remain a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Chairman Deckard opened the public hearing and asked if anyone who wished to speak to do so at this time. There being no one indicating such, Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action

Commissioner Hustings made a motion to approve Z2024-064. Vice-Chairman Womble seconded the motion which passed by a vote of 7-0.

V.ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

7. MIS2024-020 (ANGELICA GUEVARA)

Discuss and consider a request by Donyelle Fenton for the approval of a *Miscellaneous Case* for an *Exception* to the *Fence Standards* to allow the construction of a fence on a 0.239-acre parcel of land identified as Lot 5, Block A, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 214 Lakeview Drive, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. This request was brought forward by the applicant on November 26, 2024 meeting. At this meeting there was a motion to deny the request without prejudice to allow the applicant the ability to re submit the request. The applicant tis requesting an approval of an exception to repair and replace the existing wood picket fence and wooden post in her backyard. In accordance to the Unified Development Code (UDC) requirements a wood picket fence is an allowable fence material for the subject property. However, since the property is located within an established residential area it is subject to the transparency fencing standards which would require a rod iron fence. In addition, a wood fence post would not be permitted by the fence standards.

Donyelle Fenton
214 Lakeview Drive
Rockwall, TX 75032

Mrs.Fenton came forward and explained she liked her fence because of the beautiful view.

Commissioner Hagaman asked why it was denied.

Commissioner Odom asked if the wooden fence adjacent to the property was still in the same subdivision.

Commissioner Hustings made a motion to approve MIS2024-020. Chairman Deckard seconded the motion which was approved by a vote of 7-0.

VI.DISCUSSION ITEMS

8. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- Z2024-053: Zoning Change (AG to SF-10) for 205 Dial Lane (2ND READING; APPROVED)
- Z2024-054: Amendment to Planned Development District 9 (PD-9) (2ND READING; APPROVED)
- Z2024-055: Specific Use Permit (SUP) for a *Detached Garage* at 2348 Saddlebrook Lane (2ND READING; APPROVED)
- Z2024-057: Specific Use Permit (SUP) for a *General Retail Store* at 1915 Alpha Drive (2ND READING; APPROVED)
- Z2024-060: Zoning Change (AG to PD) for the Juniper Subdivision (2ND READING; APPROVED)

VII.ADJOURNMENT

Chairman Deckard adjourned the meeting at 7:52PM.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2025.

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Attest:

Melanie Zavala, Planning Coordinator

Derek Deckard, Chairman

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
JANUARY 28, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),
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4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.
5

6 I. CALL TO ORDER

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8 **Chairman Deckard called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Womble, Jay Odom and John Hagaman. Commissioners absent were Dr. Jean Conway, Ross Hustings and Kyle Thompson. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams. Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn price.**

12 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

18 II. CONSENT AGENDA

19 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

23 1. P2025-001 (RYAN MILLER)

24 Consider a request by the City of Rockwall for the approval of a Replat for Lot 12, Block A, The Meadows Addition being a 0.306-acre tract of land identified as the Greenbelt & Utility Easement, Block A, Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17), and generally located at the terminus of Hail Drive and take any action necessary.

28 2. P2025-002 (RYAN MILLER)

29 Consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1-4, Block A, Fox-Harris Addition being a 1.124-acre tract of land identified as Lots 1 & 2, Block A, Fox Addition; Lot 3 of the Richard Harris No. 3 Addition; and Lot B, Block 48A, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 205 & 209 S. Clark Street and 206 & 210 Wade Drive, and take any action necessary.

33 **Vice-Chairman Womble made a motion to approve the Consent Agenda. Commissioner Odom seconded the motion which passed by a vote of 4-0.**

35 III. ACTION ITEMS

36 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

40 3. SP2025-001 (BETHANY ROSS)

41 Discuss and consider a request by Brian Baca of ADV Rockwall John King Property Owner, LLC for the approval of an Amended Site Plan for a Mini-Warehouse Facility on a 3.682-acre parcel of land identified as Lot 1, Block A, Cambridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, addressed as 1689 & 1705 John King Boulevard and 1711 SH-276, and take any action necessary.

46 **Planner Bethany Ross provided a brief summary in regard to the applicant's request. On September 13, 2022 the Planning and Zoning Commission approved a Site plan for the construction of a mini-warehouse facility granted variances to building materials, masonry, four-sided architecture and roof design standards. On September 19, 2022 the City Council approved an exception to conditional land use standards including building density, building height and roof design. The original Site Plan the applicant had proposed 10 compensatory measures to offset these variances and exceptions. On January 10, 2023 the Planning and Zoning commission approved an amended site plan which allowed for an increase in the variance to the minimum of the stone requirements. This variance was requested because the architect incorrectly labeled the material percentages on the original site plan. For the variance request associated with the amended site plan the applicant provided three (3) compensatory measures. Following this approval, the applicant submitted Civil Engineering plans and a Final plat and Building permit for the proposed mini warehouse facility. The project is currently under construction. On January 17, 2025 the applicant applied requesting to update the landscape plan due to issues raised by Atmos concerning the planting proposed in the 15-foot Atmos easement on the south side of the property. The updated landscape plan proposes small to mid-sized shrubbery and an 18"-24" undulating berm. The updated landscape plan proposes small to mid-sized shrubbery and an 18"-24" undulating berm. According to the General Overlay District Development Standards of the Unified Development Code (UDC) all landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees are required by 100-feet of linear frontage. In this case, the applicant is requesting a variance to these requirements along SH-276. Specifically, the applicant is proposing a berm that does not meet the minimum requirements, proposing to remove all canopy trees, and proposing to remove all accent trees. With regard to this case the applicant is not proposing any additional compensatory measures and will be removing five (5) of the thirteen (13) compensatory measures associated with the previous variance approvals as these compensatory measures were to increase the landscaping allowed in SH-276.**

65 Chairman Deckard asked for the width of the Atmos easement.

66
67 Planner Bethany Ross explained it is a 50-foot Atmos easement.

68
69 Brian Baca
70 2221 Lakeside Blvd
71 Suite 1260
72 Richardson, TX 75082

73
74 Mr. Baca came forward and explained that the landscape architect did not notice the easement and that it was discovered recently.

75
76 Director of Planning and Zoning Ryan Miller explained the easement was described on the plat and they had also discussed about the easement
77 during there pre-development meetings.

78
79 Chairman Deckard asked if there was any attempt to meet the tree mitigation.

80
81 Planner Bethany Ross explained that there wasn't any tree mitigation required but she would have to review back to the case.

82
83 Planner Bethany Ross explained there was new ornamental trees by the detention area where they had mentioned that they were not meeting the
84 requirements in the xeriscape.

85
86 Commissioner Hagaman explained this would set a precedence.

87
88 Chairman Deckard made a motion to table SP2025-001. Vice-Chairman Womble seconded the motion which was tabled by a vote of 4-0.

89
90 IV. DISCUSSION ITEMS

91
92 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come
93 forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items
94 are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the
95 following cases is February 11, 2025.*

96
97 4. **Z2025-001 (HENRY LEE)**
98 Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the
99 approval of a PD Development Plan for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall,
100 Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally
101 located on the northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.

102
103 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting to amend the PD Development
104 Plan to allow eight (8) townhomes. Staff is working through comments with them at this time. They had several deviations from the PD ordinance
105 regulations as well as the resolution. There will be making changes to bring it closer. They are asking for one (1) additional unit.

106
107 Director of Planning and Zoning Ryan Miller explained if they want to table the case for the next meeting to go ahead and discuss the case since the
108 applicant was not present for this meeting.

109
110 Vice-Chairman Womble asked if it was that simple to add an additional unit into the ordinance.

111
112 Chairman Deckard advised that this item will come back before the Commission for discussion or action on February 11, 2025.

113
114 5. **Z2025-002 (ANGELICA GUEVARA)**
115 Hold a public hearing to discuss and consider a request by Lee Wickland of Wickland's Sweet Connection on behalf of Windy Busher of Revive for the
116 approval of a Specific Use Permit (SUP) for a *General Retail Store* and *Limited Service Restaurant* on a 0.1617-acre parcel of land identified as Lot 1, Block
117 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses,
118 situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

119 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. They are wanting to add a small portion of general retail. According
120 to there letter was to get baked goods. Staff received an email if they wanted to withdraw case.

121
122 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting to add a small portion of General
123 Retail it considered a restaurant but it will be baked goods. Staff did receive an email from the applicant possibly indicating wanting to withdraw.
124 Staff did reach out to the applicant but was unable to contact.

125
126 Chairman Deckard asked if this would change their parking.

127
128 Chairman Deckard advised that this item will come back before the Commission for discussion or action on February 11, 2025.

129
130 6. **Z2025-003 (BETHANY ROSS)**
131 Hold a public hearing to discuss and consider a request by Trenton Austin of GT Plumbing Services, LLC on behalf Tim Connolly of Connolly Squared, LLC
132 for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [*Ordinance No. 21-32*] being a 47.37-acre tract of land situated

133 within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for
134 Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing
135 and SH-276, and take any action necessary.
136

137 **Planner Bethany Ross provided a brief summary in regards to the applicants request. The underlining zoning for Planned Development District 46**
138 **(PD-46) is Commercial. Within the Commercial district building maintenance service and sales with outside storage land use is not permitted and**
139 **the applicant is requesting this to amend the PD to allow that building maintenance sales and service land use with outside storage.**
140

141 **Trenton Austin**
142 **1340 Mandering Way**
143 **Rockwall, TX 75087**
144

145 **Rick Haynes**
146 **3905 Whitman Drive**
147 **Rockwall, TX 75087**
148

149 **Mr. Austin came forward and provided a brief summary in regards to his request.**

150 **Commissioner Odom asked if this were to get approved if it would be amending the tract or the entire Planned Development.**

151 **Chairman Deckard advised that this item will come back before the Commission for discussion or action on February 11, 2025.**
152

153 **7. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**
154

- 155 • P2024-042: Preliminary Plat for the Southside Hills Subdivision **(APPROVED)**
- 156 • P2024-043: Master Plat for the Southside Hills Subdivision **(APPROVED)**
- 157 • Z2024-062: Amendment to Planned Development District 50 (PD-50) **(1ST READING; APPROVED)**
- 158 • Z2024-064: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 178 Lynne Drive **(1ST READING; APPROVED)**
159

160
161
162 V.ADJOURNMENT

163 **Chairman Deckard adjourned the meeting at 6:34PM**
164

165 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
166 _____, 2025.
167

168
169 _____
170 Derek Deckard, Chairman

171 Attest:

172 _____
173 Melanie Zavala, Planning Coordinator
174
175



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: February 11, 2025
SUBJECT: Z2024-061; *Zoning Change (AG to PD for SF-10) for Erwin Farms*

On February 3, 2025, the applicant -- *Adam Buczek of Skorburg Company* -- sent an email to staff requesting to withdraw *Case No. Z2024-061*. According to the applicant, the purpose of the withdrawal request is to allow the applicant time to make changes to the concept plan and to address staff comments to better conform to the Unified Development Code (UDC) and the policies and goals of the City of Rockwall's *OURHometown Vision 2040 Comprehensive Plan*. The applicant has stated that he intends on submitting a new application for the next submittal deadline on February 14, 2025. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means that the Planning and Zoning Commission will need to vote on the applicant's request to withdraw the case. Should the Planning and Zoning Commission have any questions staff will be available at the February 11, 2025 meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Senior Planner*
DATE: February 11, 2025
SUBJECT: Z2025-001; *PD Development Plan for Rockwall Townhomes*

On February 5, 2025, the property owner -- *Matt Zahm of ZAPA Investments LLC* -- sent an email to staff requesting to withdraw *Case No. Z2025-001*. According to the applicant, the purpose of the withdrawal request is to allow the applicant time to make changes to the concept plan and to address staff comments to better conform to the Unified Development Code (UDC) and the Planned Development District 32 Ordinance [*Ordinance No. 17-22*]. The applicant has stated that he intends on submitting a new application for the next submittal deadline on February 14, 2025. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means that the Planning and Zoning Commission will need to vote on the applicant's request to withdraw the case. Should the Planning and Zoning Commission have any questions staff will be available at the February 11, 2025 meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: February 11, 2025

APPLICANT: Lee Wickland; *Wickland's Sweets Connection*

CASE NUMBER: Z2025-002; *Specific Use Permit for a General Retail Store and Limited Service Restaurant at 907 N. Goliad Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Lee Wickland of Wickland's Sweet Connection on behalf of Windy Busher of Revive for the approval of a Specific Use Permit (SUP) for a *General Retail Store and Limited Service Restaurant* on a 0.1617-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the April 1934 Sanborn Maps. According to the Rockwall County Appraisal District (RCAD) there is a 1,012 SF *Office Building* located on the subject property, that was formerly a single-family home constructed in 1950. According to the January 3, 1972 zoning map, the subject property was zoned Single-Family 2 (SF-2) District. The zoning designation of the subject property changed from a Single-Family 2 (SF-2) District to a Single-Family 3 (SF-3) District sometime between January 3, 1972 and January 22, 1982 based on the City's historic zoning maps. The zoning designation of the subject property changed from a Single-Family 3 (SF-3) District to a Single-Family 7 (SF-7) District sometime between January 22, 1982 and May 16, 1983 based on the City's historic zoning maps. On August 20, 2007, the City Council approved a zoning change [*Case No. Z2007-018; Ordinance No. 07-29*] that incorporate the subject property into Planned Development District 50 (PD-50). Since the property has been within Planned Development District 50 (PD-50), the ordinance has been amended four (4) times [*Ordinance No. 16-15, 17-19, 23-60, & 25-07*] in order to establish new permitted uses within the district.

PURPOSE

The applicant -- *Lee Wickland of Wickland's Sweet Connection* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *General Retail Store and Limited Service Restaurant* in a Residential Office (RO) District on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 907 N. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.1303-acre parcel of land (*i.e. Lot 1, Block 1, Misty Addition*) developed with an 1,184 SF *Office Building*. Beyond this is a 0.29710-acre parcel of land (*i.e. Lot 3, Block A, Adams Addition*) developed with 2,068 SF *Medical Office Building*. Following this is a 0.497-acre parcel of land (*i.e. Part of Block 29, Garner Addition*) developed with an 2,398 SF *Office Building*. North of this is a 0.30-acre parcel of land (*i.e. Part of Block 29, Garner Addition*) developed with a 906 SF single-family home. All of these properties are zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses.

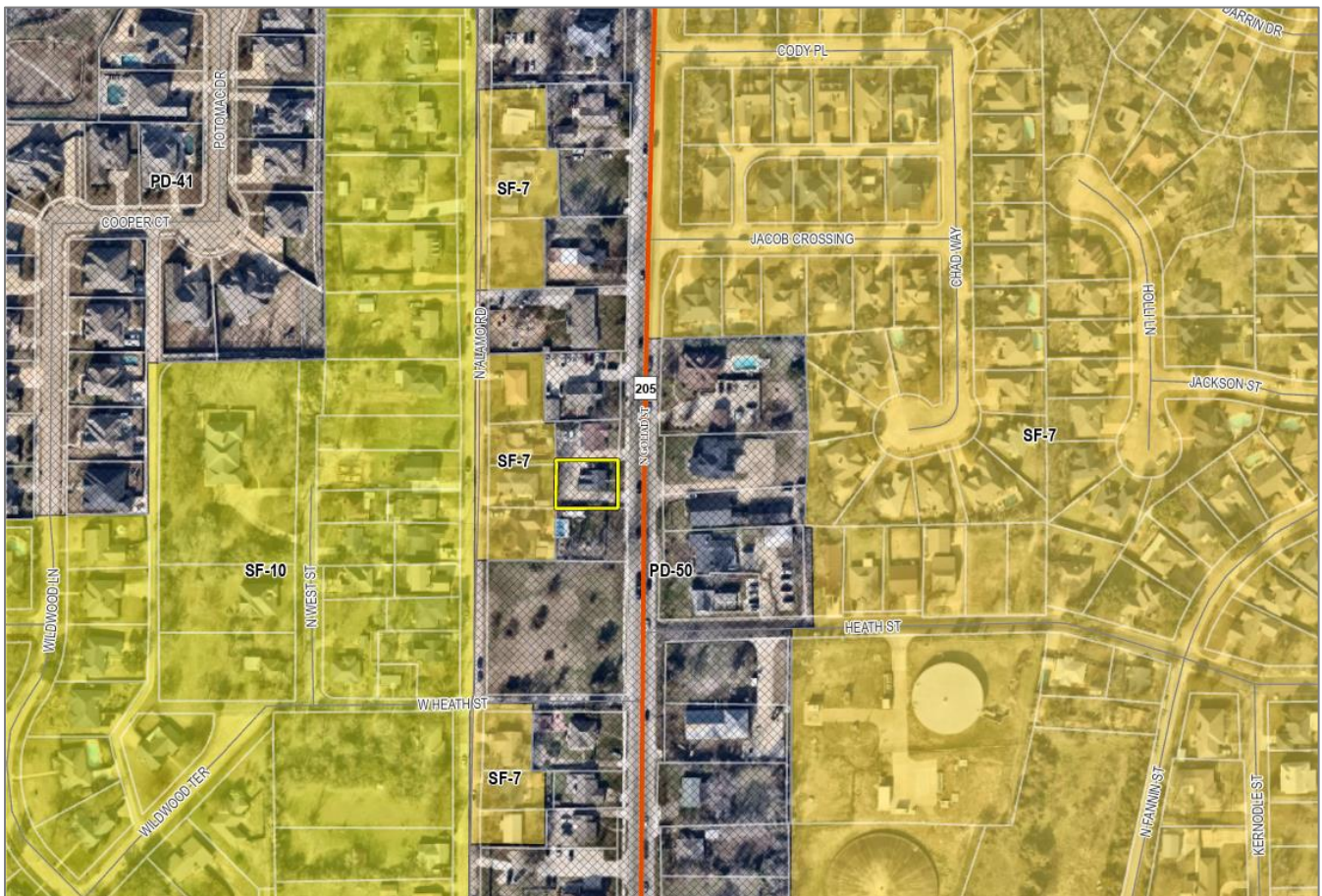
South: Directly south of the subject property are two (2) vacant parcels of land (*i.e. Blcok 29 & Part of Block 27, Garner Addition*). Beyond this is W. Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

Following this is a 0.30-acre parcel of land (i.e. Lot 2, Block A, Amick Addition) developed with a 1,314 SF single-family home. South of this is a 0.1376-acre parcel of land (i.e. Block 24B, Amick Addition) developed with a 1,156 SF single-family home. All of these properties are zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is classified as a A5D (i.e. arterial, five [5] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land (i.e. Tract 16, Block A, Steele Addition; Lot 1, Block A, Heavenly Hands Birthing Center PLLC Addition) developed with Office and Medical Office Buildings, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. Following this is the North Town Addition, which is comprised of 41 single-family homes that are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property is a 0.1810-acre parcel of land (i.e. Part of Block 27, Garner Addition) developed with a 1,183 SF single-family home, zoned Single-Family 7 (SF-7) District. Beyond this is N. Alamo Road, which is classified as a Minor Collector on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are three (3) parcels of land (i.e. Lots 2, 3, & 6, Block 5, Garner Addition) developed within single-family homes, zoned Single-Family 10 (SF-10) District. West of this is N. West Street, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and a zoning exhibit requesting a Specific Use Permit (SUP) for a *General Retail Store* and *Limited Service Restaurant* on the subject property. According to the Rockwall Central Appraisal District (RCAD) there is an existing 1,012 SF *Office Building* situated on the subject property. Within this building the applicant has medical

offices for an aesthetician business (*i.e. Revive Aesthetics*). As part of the applicant's operations, they are requesting to allow a *General Retail Store* and *Limited Service Restaurant*. The applicant has indicated that the general retail component will sell merchandise related to the aesthetician business, and the restaurant will sell pre-made baked goods (*i.e. cookies, cupcakes, chocolates*). Both of these components will serve the clients of the aesthetician business. Staff has included all of the applicant's submitted materials in the attached packet for the Planning and Zoning Commission and City Council's review.

CONFORMANCE WITH THE CITY'S CODES

Subsection 02.02(F), *Retail and Personal Service Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *General Retail Store* as "(a) facility or area for the retail sale of general merchandise or food to the public for direct consumption and not for wholesale." In this case, the applicant's proposed use falls under this classification. In addition, Subsection 02.01(96), *Restaurant, Limited Service*, of Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *Limited Service Restaurant* as "(a) building or portion of a building, where the primary business is the on-premises sale of prepared food where patrons generally order or select items and pay before eating..." and does not have table service. In this case, the applicant's proposed use falls under this classification as well. According to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *General Retail Store* and a *Limited Service Restaurant* require a Specific Use Permit (SUP) in a Residential Office (RO) District. The purpose of this requirement is to acknowledge that the *General Retail Store* and *Limited Service Restaurant* land uses are not appropriate within all of the City's commercial areas, and that the City Council should have discretionary oversight with regard to this land use and their impacts within these types of districts.

STAFF ANALYSIS

According to Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district." In review of the surrounding land uses with Planned Development District (PD-50), there are other *General Retail Stores* [*Ordinance No. 15-03, 17-40, 20-28, 20-29, & 21-08*] and *Restaurants* [*Ordinance No. 04-46, 17-21*], that have been approved through the Specific Use Permit (SUP) process. Based on this, the proposed *General Retail Store* and *Limited Service Restaurant* would not be the only deviation with Planned Development District 50 (PD-50). In addition, the applicant has indicated that the *General Retail Store* and *Limited Service Restaurant* will be for the patrons of the aesthetician office and not the general public. All that being said, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject is situated within the *Downtown District*. This district includes the *North Goliad Corridor*, otherwise known as Planned Development District 50 (PD-50). The OURHometown Vision 2040 Comprehensive Plan describes the *Downtown District* as "a unique Live/Work corridor that supports a range of small boutiques (*with a SUP*) and offices, and represents a successful adaptive reuse effort by the City." In this case, the applicant is requesting to continue using one (1) of the converted single-family homes as an *Office Building*, with the addition of a *General Retail Store* and *Limited Service Restaurant*. Given that the applicant intends to continue the adaptive reuse of the former single-family home, and not change the building footprint or the exterior of the building, it appears that the intent of the *North Goliad Corridor* is maintained. That being said, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On January 22, 2025, staff mailed 106 notices to property owners and occupants within 500-feet of the subject property. In addition, staff notified The Preserve and Caruth Lakes Homeowner's Association (HOA), which are the only HOAs within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At this time, staff has not received any notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *General Retail Store* and *Limited Service Restaurant* within Planned Development District 50 (PD-50), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the *Floor Plan* as depicted in *Exhibit 'B'* of this ordinance; and
 - (b) The *General Retail Store* and *Limited Service Restaurant* shall not occupy more 210 SF of the 1,012 SF *Office Building*.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

907 N. Goliad St

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

PD-50

CURRENT USE

Offices/Pharmacy

PROPOSED ZONING

no change

PROPOSED USE

Offices/retail/restaurant

ACREAGE

LOTS [CURRENT]

1

LOTS [PROPOSED]

no change

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Revive (formerly Bayside)

APPLICANT

Widdlands Suel Connect

CONTACT PERSON

Windy Busher

CONTACT PERSON

Lee Wickland

ADDRESS

115 Wheelers Way

ADDRESS

2002 Longbridge Rd.

CITY, STATE & ZIP

Rockwall TX 75087

CITY, STATE & ZIP

Heath, TX 75126

PHONE

(909) 730-1992

PHONE

540-521-7250

E-MAIL

wb@we-revive.com

E-MAIL

Teewickland@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

Windy M. Busher

[OWNER] THE UNDERSIGNED, WHO

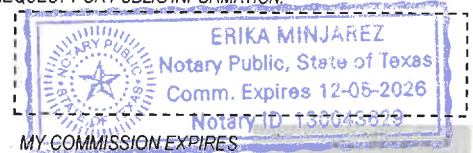
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 200 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF JANUARY, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF JANUARY, 2025

OWNER'S SIGNATURE

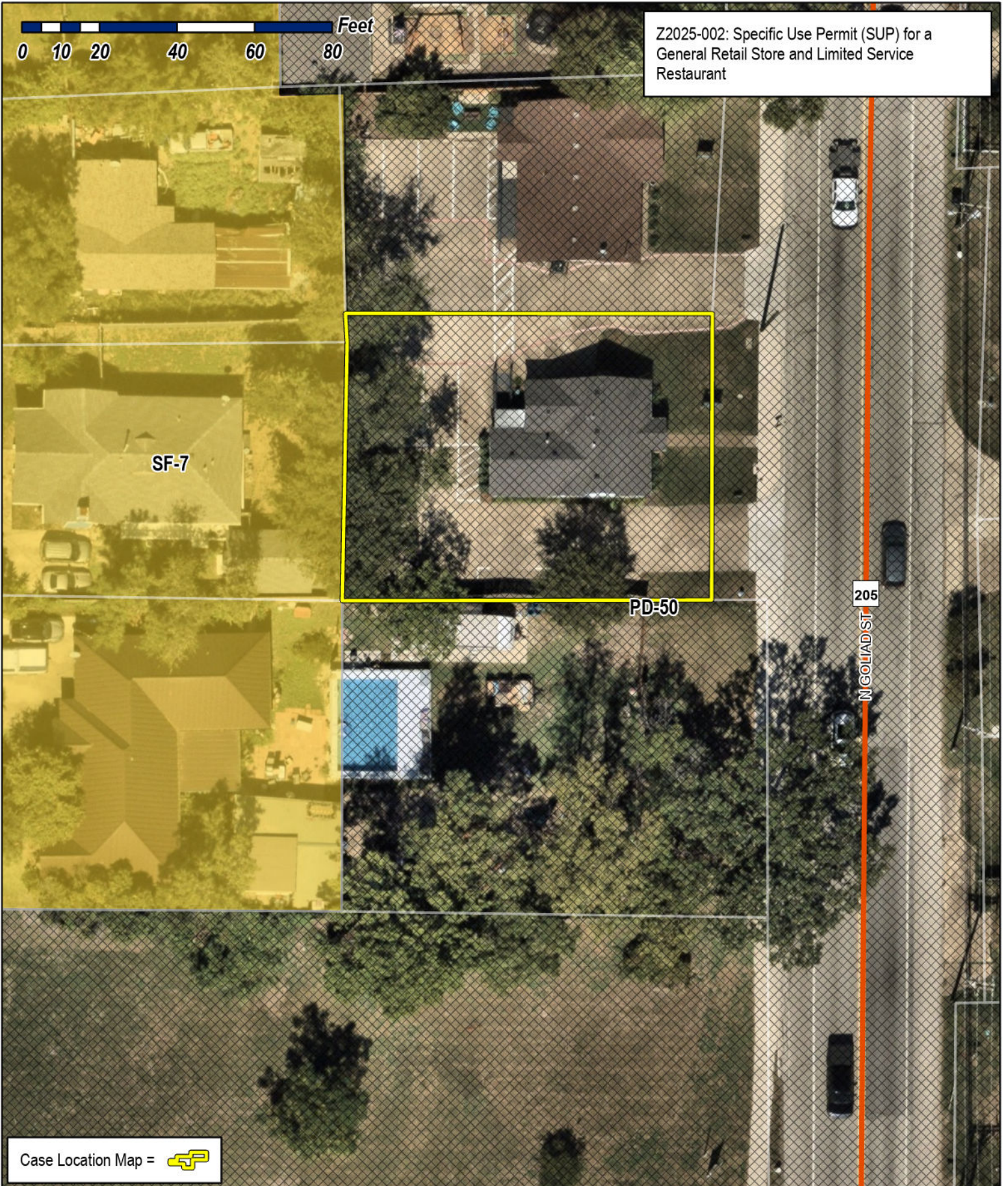
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


Erika Minjarez





Z2025-002: Specific Use Permit (SUP) for a General Retail Store and Limited Service Restaurant



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

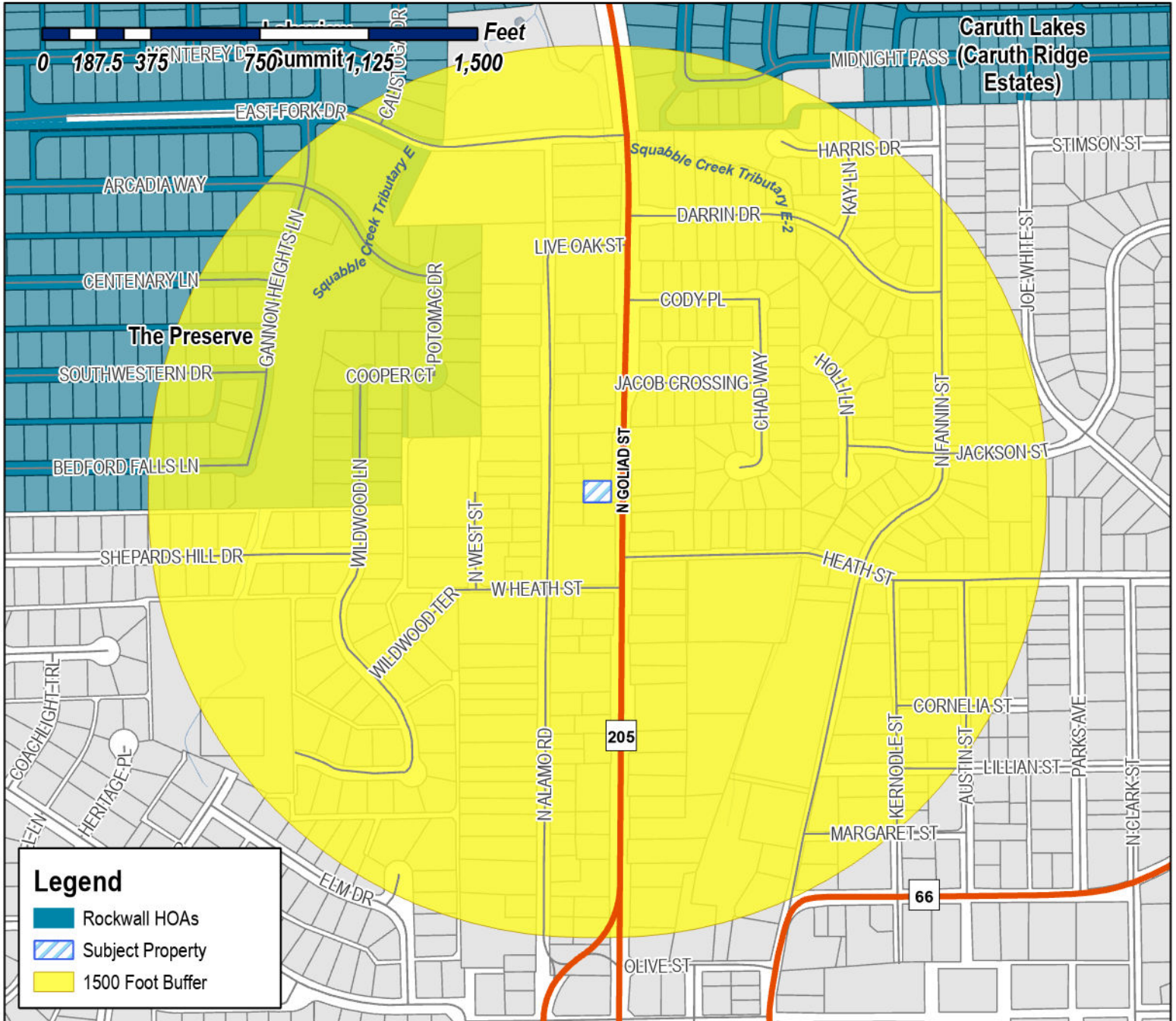




City of Rockwall

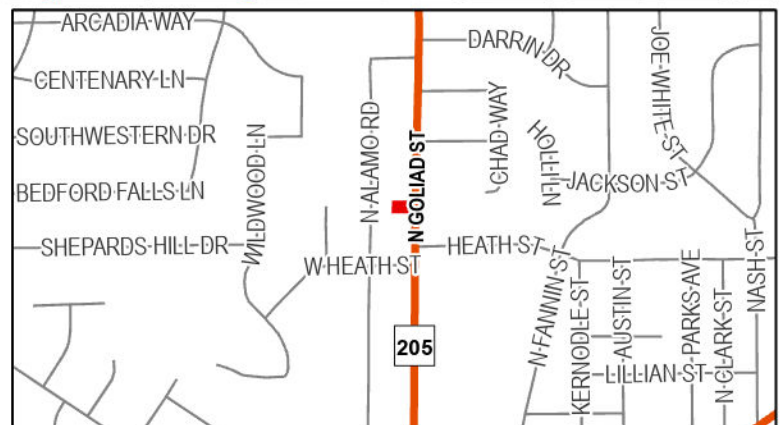
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-002
Case Name: SUP for Revive Aesthetics
Case Type: Zoning
Zoning: Planned Development District 50 (PD-50)
Case Address: 907 N. Goliad Street

Date Saved: 1/17/2025
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2025-002]
Date: Wednesday, January 22, 2025 1:29:05 PM
Attachments: [Public Notice \(01.17.2025\).pdf](#)
[HOA Map \(01.21.2025\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, January 24, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 11, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 18, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-002:SUP for General Retail Store and Limited Service Restaurant

Hold a public hearing to discuss and consider a request by Lee Wickland of Wickland's Sweet Connection on behalf of Windy Busher of Revive for the approval of a [Specific Use Permit \(SUP\)](#) for a General Retail Store and Limited Service Restaurant on a 0.1617-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

Thank you,

Melanie Zavala

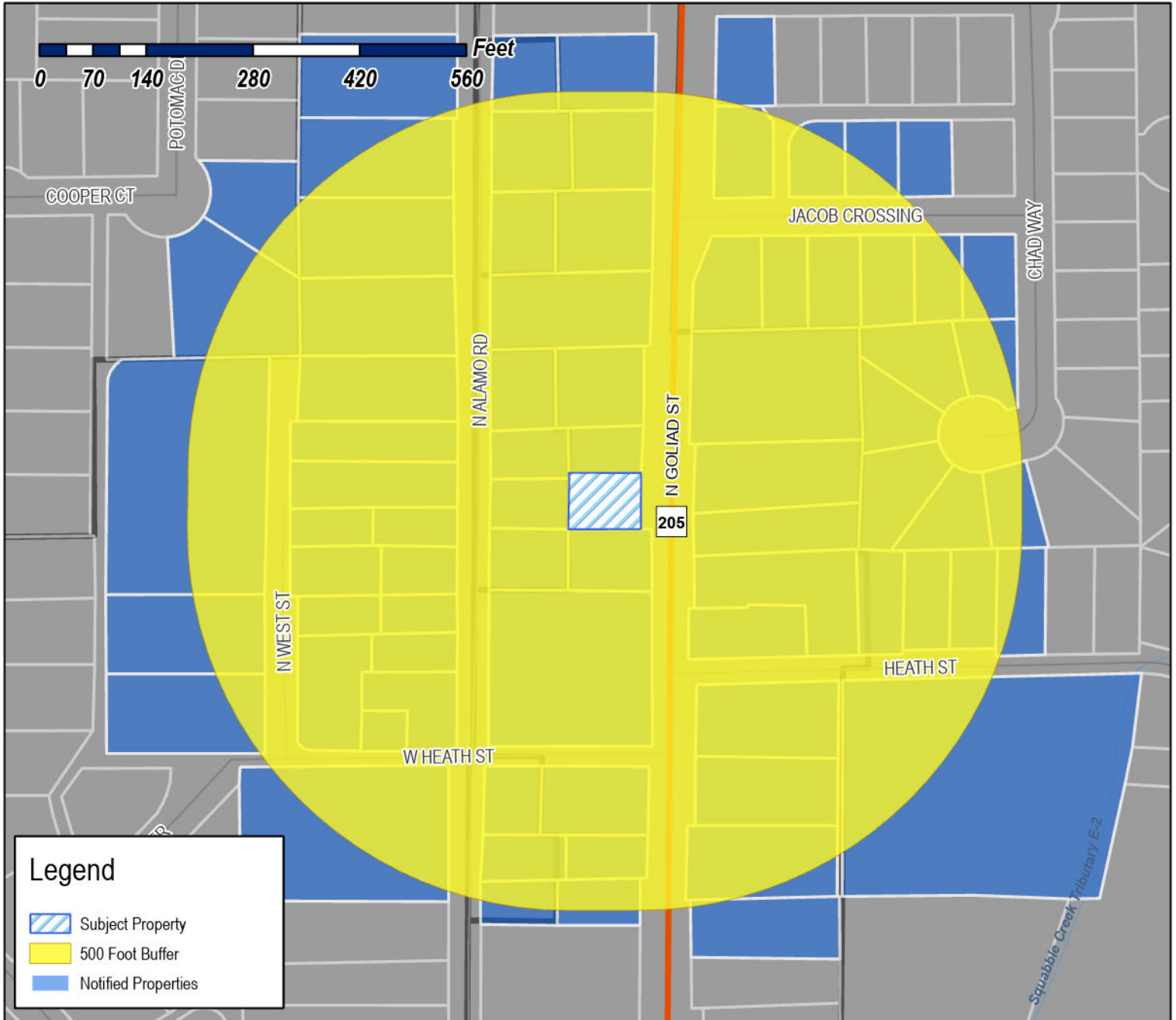
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

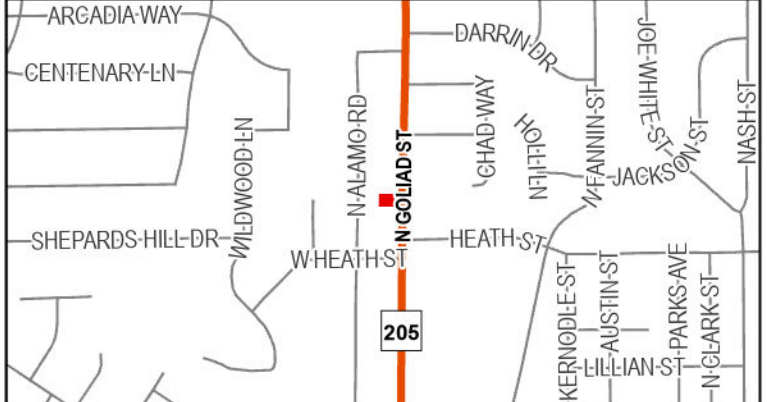
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Legend

- Subject Property
- 500 Foot Buffer
- Notified Properties

Case Number: Z2025-002
Case Name: SUP for Revive Aesthetics
Case Type: Zoning
Zoning: Planned Development District 50 (PD-50)
Case Address: 907 N. Goliad Street



Date Saved: 1/17/2025
 For Questions on this Case Call: (972) 771-7745

RESIDENT
GOLIAD/HEATH/ALAMO
ROCKWALL, TX 75087

RESIDENT
100 E HEATH
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN
104 RUSH CREEK
HEATH, TX 75032

HILL TOBY VERN H & ANGELA DAWN
113 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
115 E HEATH ST
ROCKWALL, TX 75087

STORY CATHERINE C
117 E HEATH ST
ROCKWALL, TX 75087

GARRISON MONA AND RONALD
119 E HEATH STREET
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

FITE CENTRE LLC
1200 FRONTIER TRAIL
ROCKWALL, TX 75032

380 PROPERTY INC
12207 DARK HOLLOW RD
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN
1408 S LAKESHORE DR
ROCKWALL, TX 75087

VANDERSLICE ROBERT
1408 S LAKESHORE DRIVE
ROCKWALL, TX 75087

ESTATE OF DOSVILLE PEOPLES
1410 S GOLIAD ST APT 1707
ROCKWALL, TX 75087

ESTATE OF DOSVILLE PEOPLES
1410 S GOLIAD ST APT 1707
ROCKWALL, TX 75087

DOUBLE T VENTURES LLC
1500 S KREYMER LN
WYLIE, TX 75098

DOUBLE T VENTURES LLC
1500 S KREYMER LN
WYLIE, TX 75098

DOUBLE T VENTURES LLC
1500 S KREYMER LN
WYLIE, TX 75098

BARNETT JOSEPH RODNEY & LADONNA
1855 HIDDEN HILLS
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW
192 JACOB CROSSING
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S
193 JACOB CROSSING
ROCKWALL, TX 75087

RESIDENT
194 CODY PLACE
ROCKWALL, TX 75087

RESIDENT
196 JACOB CROSSING
ROCKWALL, TX 75087

CHARLES & JANE SIEBERT LIVING TRUST
CHRISTOPHER CHARLES SIEBERT & JANE M
SIEBERT - TRUSTEES
199 JACOB XING
ROCKWALL, TX 75087

917 PROPERTIES LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 5 LLC
2 MANOR COURT
HEATH, TX 75032

RESIDENT
200 JACOB CROSSING
ROCKWALL, TX 75087

CITY LIFT STATION
201 E WASHINGTON ST
ROCKWALL, TX 75087

RESIDENT
203 JACOB CROSSING
ROCKWALL, TX 75087

PHILLIPS TERESA
204 JACOB CROSSING
ROCKWALL, TX 75087

RESIDENT
204 W HEATH ST
ROCKWALL, TX 75087

NBN COMMERCIAL GROUP LLC
2040 N BELT LINE RD STE 400
MESQUITE, TX 75150

PRITCHETT JOHNETTA
206 W HEATH ST
ROCKWALL, TX 75087

RESIDENT
207 JACOB CROSSING
ROCKWALL, TX 75087

RESIDENT
208 JACOB CROSSING
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC
208 SUMMIT RIDGE
ROCKWALL, TX 75087

RESIDENT
208 W HEATH ST
ROCKWALL, TX 75087

SHIPLEY JASON P & ELIZABETH
212 JACOB XING
ROCKWALL, TX 75087

DAVIS RICHARD S & LYNDELL R
2175 LAKE FOREST DR
ROCKWALL, TX 75087

KHATER CHARLES ETUX
2368 E FM 552
ROCKWALL, TX 75087

HOLLON GREGORY D
2778 S FM 549
ROCKWALL, TX 75032

WEST MICHAEL
299 SHENNENDOAH LANE
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST
301 COOPER COURT
ROCKWALL, TX 75087

HARKLAU CAROLINE
312 DARTBROOK
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC
400 CHIPPENDALE DRIVE
HEATH, TX 75032

TURNER KYLE RADEY
4002 BROWNSTONE CT
DALLAS, TX 75204

DAVENPORT RENTAL PROPERTIES - SERIES 200
DARRIN DRIVE
407 CASTLE PINES DRIVE
HEATH, TX 75032

FRENCH MELISSA AND JACOB AARON
5582 YARBOROUGH DR
FORNEY, TX 75126

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

CASTRO MICHAEL AND RENE
700 WINDSONG LN
ROCKWALL, TX 75087

RECSA 911 NORTH GOLIAD STREET SERIES
750 JUSTIN RD
ROCKWALL, TX 75087

MASON MARK S & TAMARA M
802 POTOMAC DRIVE
ROCKWALL, TX 75087

RESIDENT
806 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
807 N GOLIAD
ROCKWALL, TX 75087

LEMMON LANDON &
CAITLIN WALKER
808 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
808 N GOLIAD
ROCKWALL, TX 75087

MARTINEZ RAQUEL P
809 N GOLIAD ST
ROCKWALL, TX 75087

SWIERCINSKY LEXUS M
810 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
810 N GOLIAD
ROCKWALL, TX 75087

AOUN PIERRE E
811 N GOLIAD ST
ROCKWALL, TX 75087

RICKY JOHN SMITH AND DEBORAH KAY SMITH
LIVING TRUST - 09/27/2008
AND AS AMENDED AND RESTATED ON
08/22/2016
812 N ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
812 N GOLIAD
ROCKWALL, TX 75087

CAIN JAMES O
815 N ALAMO RD
ROCKWALL, TX 75087

INGLES CRISTINA LA SAIGNE
901 N ALAMO
ROCKWALL, TX 75087

RESIDENT
902 N GOLIAD
ROCKWALL, TX 75087

MOMSEN KIMBERLY
903 N ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
904 N GOLIAD ST
ROCKWALL, TX 75087

HAM JOSHUA L
905 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
905 N WEST ST
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH
906 N ALAMO RD
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH
906 N ALAMO RD
ROCKWALL, TX 75087

TCB CONSTRUCTION GROUP LLC
MANNY LOZANO
906 N GOLIAD ST
ROCKWALL, TX 75087

BRIONES RONALD AND THERESA
906 N WEST
ROCKWALL, TX 75087

RESIDENT
907 N GOLIAD ST
ROCKWALL, TX 75087

JC GAERLAN LLC
907 NORTH ALAMO ROAD
ROCKWALL, TX 75087

PIERCE CAROLYN AND RUSSELL DAVID
908 N ALAMO RD
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC
908 N GOLIAD ST
ROCKWALL, TX 75087

MARTINKUS NICOLE
908 N WEST ST
ROCKWALL, TX 75087

MOLINA JOE C II
909 N ALAMO
ROCKWALL, TX 75087

RESIDENT
909 N GOLIAD
ROCKWALL, TX 75087

MCFADIN SARA TERESA
909 N WEST STREET
ROCKWALL, TX 75087

ZAVALA VICTOR V
910 N ALAMO RD
ROCKWALL, TX 75087

PERRY RUBY DELL
910 N WEST ST
ROCKWALL, TX 75087

WHITE TIMOTHY E
9104 PRIVATE ROAD 2325
TERRELL, TX 75160

LEWIS BEN
911 N ALAMO
ROCKWALL, TX 75087

RESIDENT
911 N GOLIAD
ROCKWALL, TX 75087

JONES PAMELA J
912 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
912 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
913 N ALAMO RD
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE
ELIZABETH
915 N ALAMO RD
ROCKWALL, TX 75087

RESIDENT
915 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
917 N ALAMO
ROCKWALL, TX 75087

RESIDENT
917 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
918 N ALAMO
ROCKWALL, TX 75087

RESIDENT
919 N GOLIAD
ROCKWALL, TX 75087

BLOCK AMY AND TRAVIS
921 N ALAMO RD
ROCKWALL, TX 75087

BARRY BARBARA
922 N ALAMO RD
ROCKWALL, TX 75087

HUDSON SHELI O
923 N ALAMO
ROCKWALL, TX 75087

CHAVEZ ENRIQUE
923 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
924 N ALAMO
ROCKWALL, TX 75087

TAILLAC JEAN ANTHONY
944 CHAD WAY
ROCKWALL, TX 75087

RICE JOSHUA M
947 CHAD WAY
ROCKWALL, TX 75087

PRINGLE PHYLLIS M
948 CHAD WAY
ROCKWALL, TX 75087

CORENO FRANCISCO R
951 CHAD WAY
ROCKWALL, TX 75087

BRUMIT COURTNEY M AND DARREN D
952 CHAD WAY
ROCKWALL, TX 75087

MCCROSKEY DEE DEE RAYE
955 CHAD WAY
ROCKWALL, TX 75087

WOMEN IN NEED INC
PO BOX 349
GREENVILLE, TX 75403

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-002: SUP for General Retail Store and Limited Service Restaurant

Hold a public hearing to discuss and consider a request by Lee Wickland of Wickland's Sweet Connection on behalf of Windy Busher of Revive for the approval of a Specific Use Permit (SUP) for a General Retail Store and Limited Service Restaurant on a 0.1617-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 18, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 18, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2025-002: SUP for General Retail Store and Limited Service Restaurant

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:
Address:

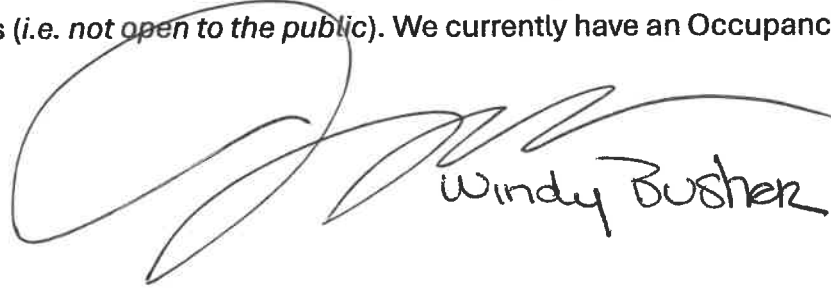
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

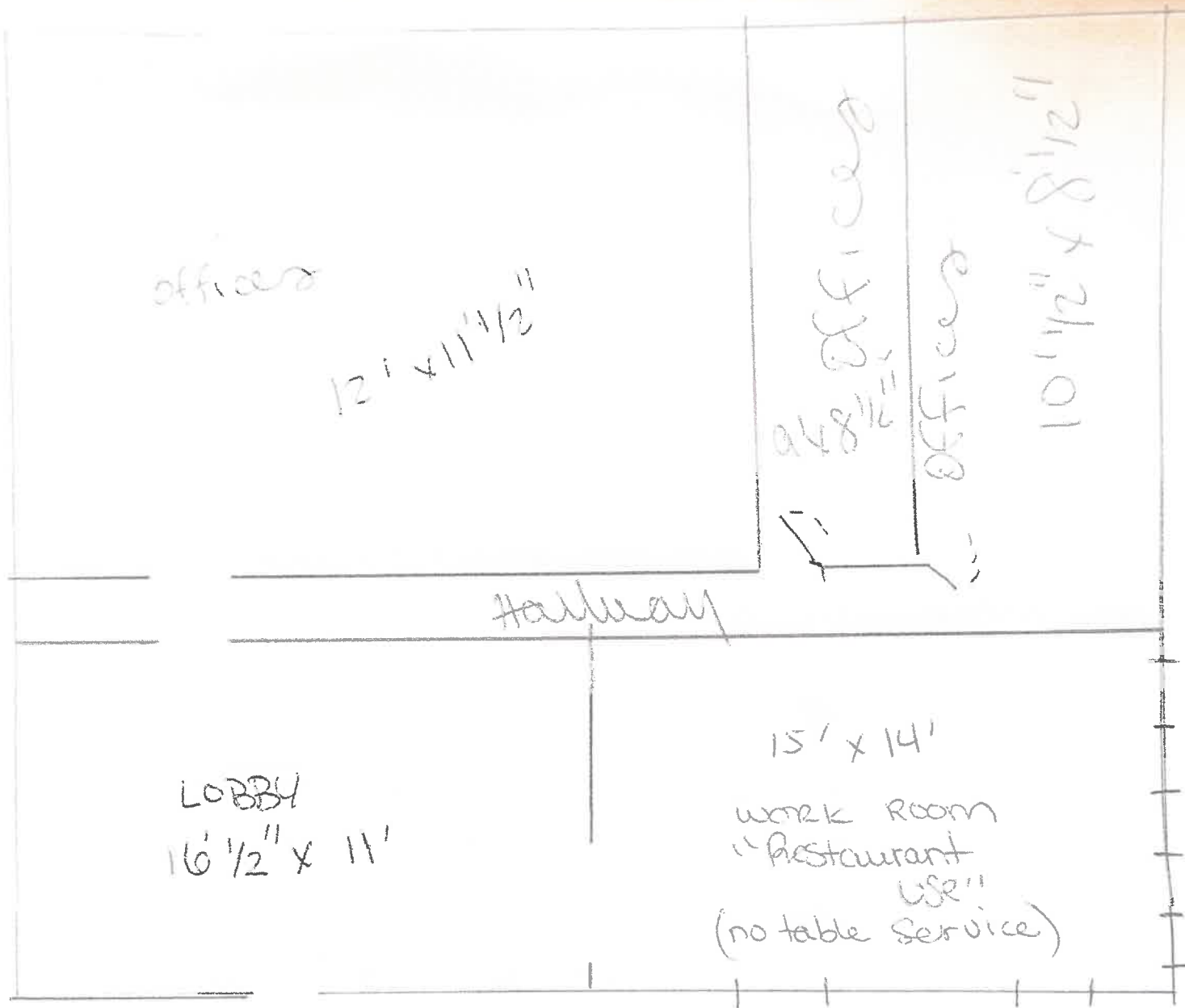
January 13, 2025

To Whom It May Concern:

I, Windy Busher (owner). Request an SUP for Restaurant/retail. We are currently using 907 as office/retail space, adjacent to our other business location at 909. We are requesting an SUP (Special use permit) so that we may provide our patrons with a small barista / sweet shop and retail experience. This is an accessory to our primary use. This "Restaurant" / retail will be Limited Service in nature (*i.e. no table service*), and for the use of our primary business's patrons (*i.e. not open to the public*). We currently have an Occupancy Permit in place.



Windy Busher



- ① total ~~10~~ 11
 ② SUP Request = 200 ~~10~~

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *GENERAL RETAIL STORE AND LIMITED SERVICE RESTAURANT* ON A 0.1617-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1, HENRY ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Lee Wickland of Wickland's Sweet Connection on behalf of Windy Busher of Revive for the approval of a Specific Use Permit (SUP) to allow a *General Retail Store and Limited Service Restaurant* on a 0.1617-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, addressed as 907 N. Goliad Street, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 15-14*;

SECTION 2. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *General Retail Store and Limited Service Restaurant* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 04.02, *Residential Office (RO) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *General Retail Store* and *Limited Service Restaurant* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Floor Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *General Retail Store* and *Limited Service Restaurant* shall not occupy more 210 SF of the 1,012 SF *Medical Office Building*.
- 3) Before the issuance of a new Certificate of Occupancy (CO), a stripping plan must be approved by staff, and be installed by the property owner.

3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3rd DAY OF MARCH, 2025.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 18, 2025

2nd Reading: March 3, 2025

Exhibit 'A'
Location Map

Legal Description: Lot 1, Block 1, Henry Addition
Address: 907 N. Goliad Street



Exhibit 'B':
Floor Plan

DRAFT
ORDINANCE
2025





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 11, 2025
APPLICANT: Trenton Austin; *GT Plumbing Services, LLC*
CASE NUMBER: Z2025-003; *Amendment to Planned Development District 46 (PD-46)*

SUMMARY

Hold a public hearing to discuss and consider a request by Trenton Austin of GT Plumbing Services, LLC on behalf Tim Connolly of Connolly Squared, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [Ordinance No. 21-32] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

BACKGROUND

The subject property was annexed -- *along with the rest of the land area that makes up Planned Development District 46 (PD-46)* -- by the City Council on July 21, 1997 by *Ordinance No. 97-14 [Case No. A1997-001]*. At the time of annexation, the subject property and the remainder of Planned Development District 46 (PD-46) were zoned Agricultural (AG) District; however, many of the land uses that exist today were already established uses at the time of annexation. Based on this, the City Council approved *Ordinance No. 99-05* on March 1, 1999. This ordinance changed the zoning of the area from an Agricultural (AG) District to Planning Development District 46 (PD-46). Under this Planned Development District all of the properties were given a base zoning of Commercial (C) District, but were also granted the ability to continue the current land use on each of the properties (*i.e. the zoning ordinance made the legally non-conforming land uses by-right land uses for each of the properties*). For the subject property, this allowed *Pawn Shop* land use as a *by-right* land use. On August 2, 2021, the City Council approved an amendment to Planned Development District 46 [Case No. Z2021-024] to allow the *Warehouse/Distribution Center* land use by right on Tract 12 through the adoption of *Ordinance No. 21-32*. According to the Rockwall County Appraisal District (RCAD) currently situated on the subject property is an 8,262 SF commercial building that was previously used by a *Dance Studio (i.e. Royalty Dance Studio)*.

PURPOSE

The applicant -- *Trenton Austin of GT Plumbing Services, LLC* -- is requesting to amend Planned Development District 46 (PD-46) [Ordinance No. 21-32] to allow *Outside Storage* in conjunction with the *Building Maintenance, Service, and Sales* land use on the subject property at 2305 SH-276.

ADJACENT LAND USES AND ACCESS

The subject property is located at 2305 SH-276. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 2.50-acre tract of land (*i.e. Tract 2-3, Abstract 186, of the J.A. Ramsey Survey*), which has two (2) commercial buildings situated on it (*i.e. a 23,400 SF building and a 7,948 SF building*). This property is zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. Beyond this tract of land is Springer Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 38.932-acre parcel of land (*i.e. Lot 2, Block B, Rockwall Technology Park, Phase III Addition*), which has a

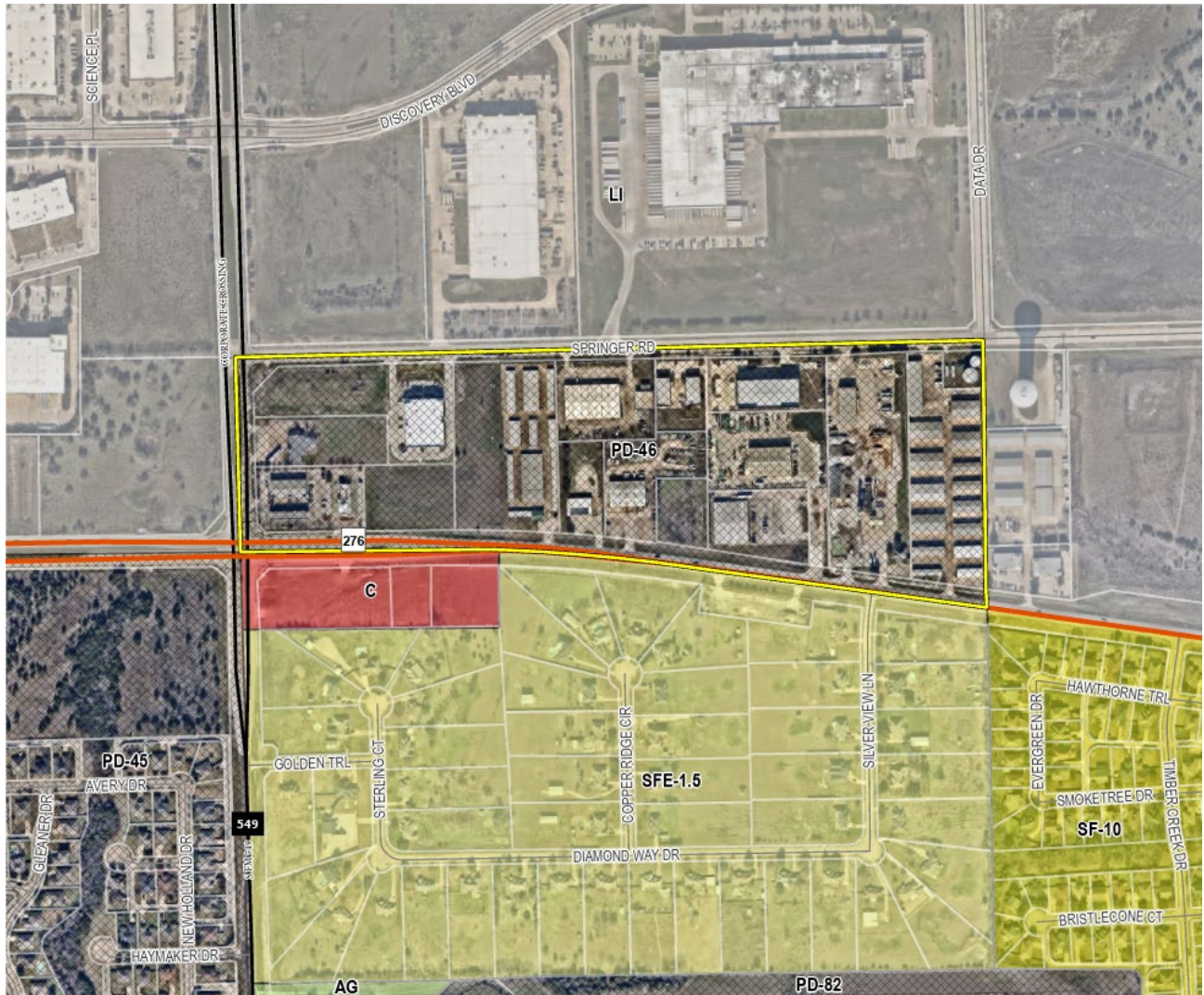
~278,270 SF food manufacturing facility (i.e. *Bimbo Bakery*) situated on it. This property is zoned Light Industrial (LI) District.

South: Directly south of the subject property is SH-276, which is identified as a P6D (i.e. *Principal Arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Sterling Farms Subdivision, which consists of 48 single-family residential lots that were established in 1997. This subdivision is zoned Single-Family Estate 1.5 (SFE-1.5) District.

East: Directly east of the subject property is a 2.02-acre tract of land (i.e. *Lot 1, Block A, Yetts Addition*), which is currently occupied by a *New or Used Boat and Trailer Dealership* (i.e. *Rockwall Marine*). Beyond this is a 1.002-acre parcel of land (i.e. *Lot 3, Block A, Sharp Addition*), which is currently vacant. Beyond this is a 1.964-acre parcel of land (i.e. *Lot 1, Block A, Sharp Addition*), which is currently occupied by a *Warehouse Distribution Center* (i.e. *VAC Parts Warehouse*). All three (3) of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses.

West: Directly west of the subject property is a 5.00-acre parcel of land (i.e. *Tract 2-6, Abstract 186, of the J.A. Ramsey Survey*), which is currently occupied with 12 *Mini-Warehouse* buildings and one (1) *office building* (i.e. *The Storage Locker*). Beyond this is a 1.836-acre tract of land (i.e. *Tract 2-11, Abstract No. 186, of the J.A. Ramsey Survey*), which is currently vacant. West of this is a 1.9811-acre parcel of land (i.e. *Lot 2, Block A, Subway-Gateway-Health Food Store*), that is currently occupied by a *Restaurant with Drive-Through* and a *Retail Store with Gasoline Sales*. All of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan depicting the proposed *Building Maintenance, Service, and Sales* facility, a future building, and the location of the proposed outside storage areas for the trucks and equipment. The applicant also provided a letter outlining their proposed operations and requesting the amendment to Planned Development District 46 (PD-46).

CONFORMANCE TO THE CITY'S CODES AND STAFF ANALYSIS

According to *Ordinance No. 21-32*, the Planned Development District allows any land uses permitted within the Commercial (C) District and a *Pawn Shop* by-right. The applicant's request would change this section to add *Building Maintenance, Service and Sales with Outside Storage* as a permitted land use only in Tract 7 (*i.e.* 2305 SH-276) of this Planned Development District.

According to the applicant's letter and concept plan, the intent of the request is to allow a commercial plumbing company with outside storage that will consist of overnight service truck parking, heavy equipment (*i.e.* *track machinery*), Conex boxes, and trailers. The applicant has also provided a concept plan showing how the *Building Maintenance, Service, and Sales with Outside Storage* would be situated on this property, the proposed future expansions, and where the outside storage will be located. Staff has added five (5) conditional land use standards to the included *Building Maintenance, Service and Sales with Outside Storage* land use on Tract 7, including: [1] all outside storage shall comply with the concept plan, [2] heavy equipment (*i.e.* *track machinery*) shall be permitted to be store on gravel; however, the storage of trucks, trailers, Conex boxes, or any other outside storage shall be on a concrete surface, [3] all outside storage shall be situated behind the building and not be visible from SH-276, [4] the outside storage areas shall be reviewed for visibility by the Planning and Zoning Commission at the time of site plan (*additional landscape screening may be required by the Planning and Zoning Commission and/or staff at the time of site plan approval*), and [5] all unpermitted improvements shall be removed from the property prior to site plan approval. In addition, the applicant has offered to remove the *Pawn Shop* land use, as a *by-right* land use as a compensatory measure for allowing the proposed *Building Maintenance, Service, and Sales with Outside Storage* land use. This means that should a *Pawn Shop* be established on this property in the future, it would require a Specific Use Permit (SUP) in conformance with the requirements of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Article 13, *Definitions*, of the Unified Development Code (UDC) the definition of the *Building Maintenance, Service, and Sales* land use is "(a) facility or area for contracting services such as building repair and maintenance; the installation of plumbing, electrical, air conditioning, and heating equipment; janitorial services; and exterminating services. The retail sale of supplies is permitted as an accessory use." The underlying zoning for Planned Development District 46 (PD-46) is Commercial (C) District. Within the Commercial (C) District the *Building Maintenance, Service, and Sales with Outside Storage* land use is not permitted; however, many of the uses within Planned Development District 46 (PD-46) are legally non-conforming and include outside storage as part of the use. Based on this, the incorporation of the *Building Maintenance, Service, and Sales with Outside Storage* land use does *not* appear to negatively impact the adjacent properties. With that being said, this is a request for a zoning change, which is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Technology District* and is designated for *Commercial/Retail* land uses on the Future Land Use Plan. Since the applicant's request does not change the land use designation on the Future Land Use Plan, this request would not change the properties conformity with regards to the land use plan contained in the OURHometown Vision 2040 Comprehensive Plan; however, the land use not being permitted within the Commercial (C) District would increase the non-conformity of the Planned Development District with regard to the goals and policies contained in the OURHometown Vision 2040 Comprehensive Plan. Based on this the proposed zoning change is considered to be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

Since this is an amendment to an existing Planned Development District ordinance, it required staff to notify all property owners within the Planned Development District and within 500-feet of the Planned Development District's boundaries concerning the

zoning change. As a result, on January 22, 2025, staff mailed 78 notices to property owners and occupants in or within 500-feet of the Planned Development District 46 (PD-46). Staff also sent a notice to the Lofland Farms and Timber Creek Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to amend Planned Development District 46 (PD-46) to allow *Building Maintenance, Service and Sales with Outside Storage* on the subject property as indicated in the draft ordinance, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2305 State Highway 276 Rockwall, TX 75087

SUBDIVISION JA Ramsey Survey

LOT

2-8

BLOCK

186

GENERAL LOCATION 276 & 549/Corporate Xing

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-46

CURRENT USE _____

PROPOSED ZONING PD-46

PROPOSED USE Commercial

ACREAGE 1

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Connolly Squared LLC

APPLICANT GT Plumbing Services LLC

CONTACT PERSON Tim Connolly

CONTACT PERSON Trenton Austin

ADDRESS 3635 Garrison Ave

ADDRESS 709B West Rusk Ste 112

CITY, STATE & ZIP Port Saint Joe Florida 32456

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 214-882-3982

PHONE 972-922-5267

E-MAIL tim@connollysquared.com

E-MAIL taustin@gtplumbingservices.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND COPY ANY INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF January, 2025

OWNER'S SIGNATURE

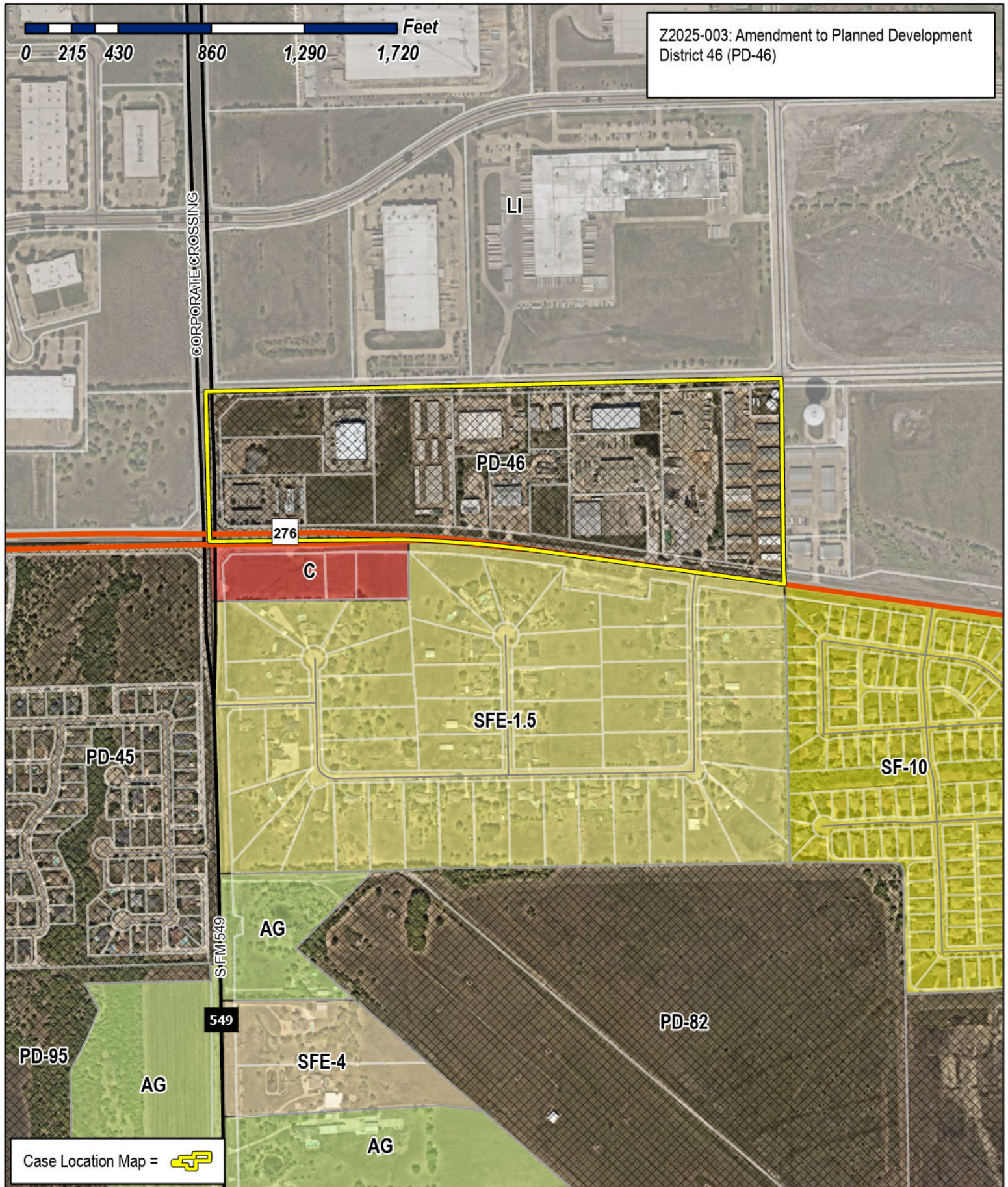
[Handwritten Signature]
[Handwritten Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2025-003: Amendment to Planned Development District 46 (PD-46)



Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

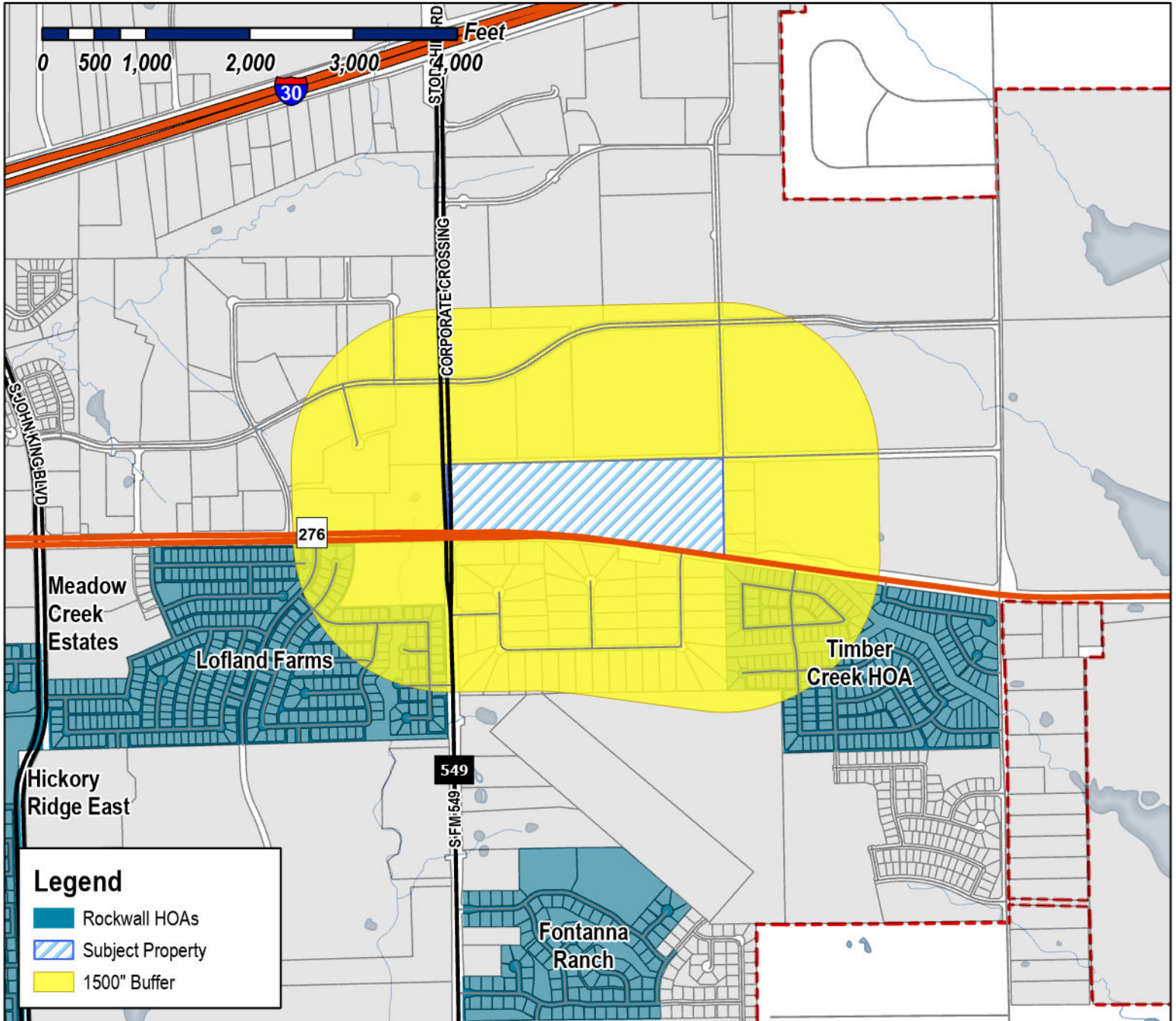




City of Rockwall

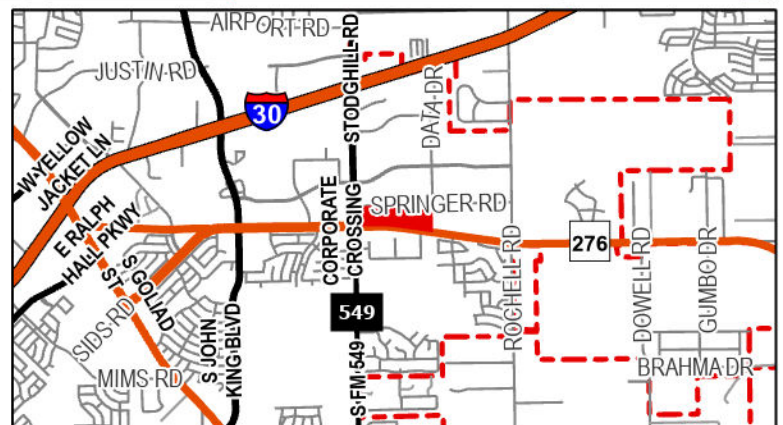
Planning & Zoning Department
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Case Number: Z2025-003
Case Name: Amendment to Planned Development District 46 (PD-46)
Case Type: Zoning
Zoning: Planned Development District 46 (PD-46)
Case Address: 2305 State Highway 276

Date Saved: 1/17/2025
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, January 22, 2025 1:27 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2025-003]
Attachments: Public Notice (01.17.2025).pdf; HOA Map (01.21.2025).pdf

Follow Up Flag: Follow up
Flag Status: Completed

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, January 24, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, February 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 18, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2025-003: Amendment to Planned Development District 46 (PD-46)

Hold a public hearing to discuss and consider a request by Trenton Austin of GT Plumbing Services, LLC on behalf Tim Connolly of Connolly Squared, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [*Ordinance No. 21-32*] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

Thank you,

Melanie Zavala

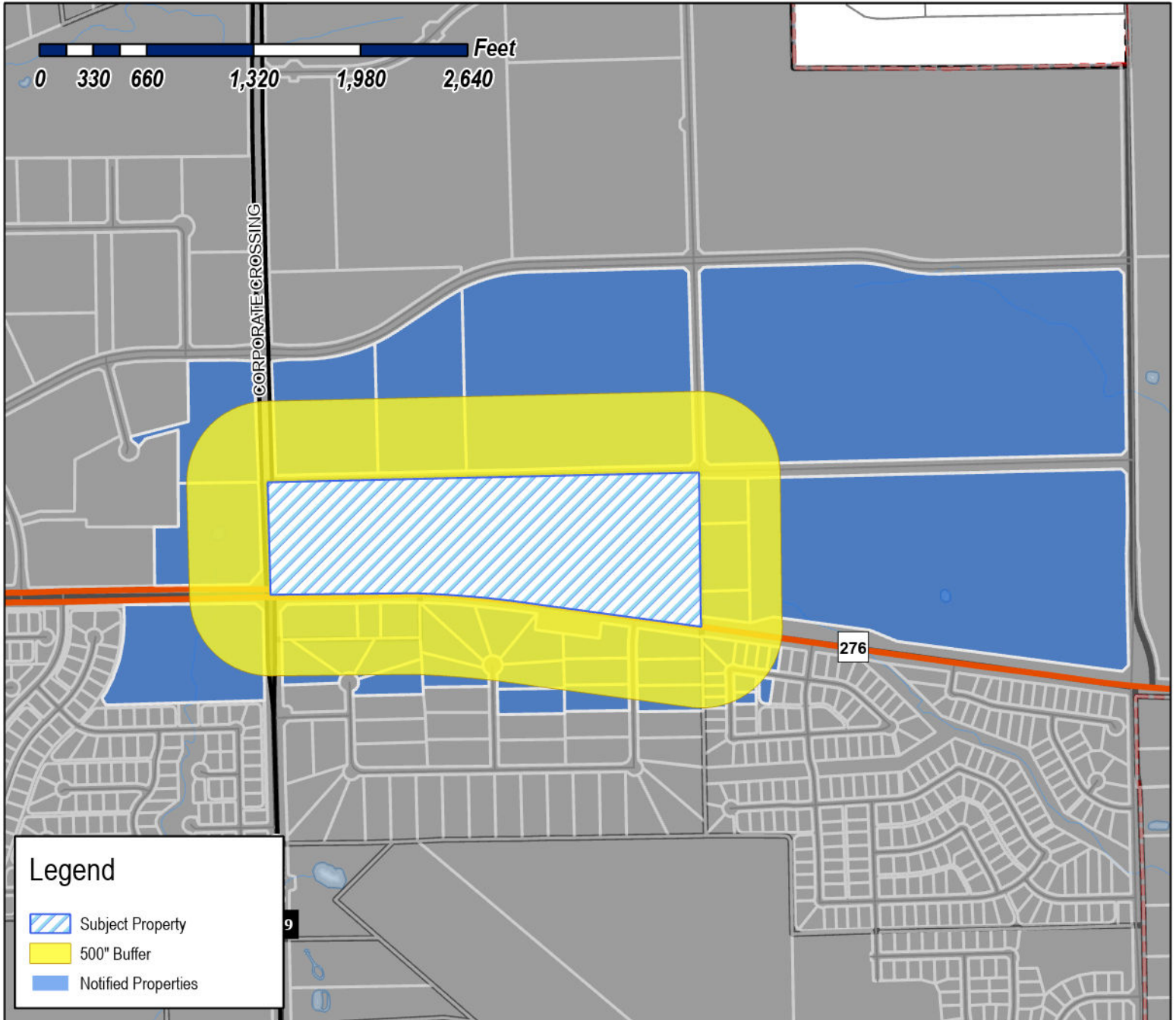
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

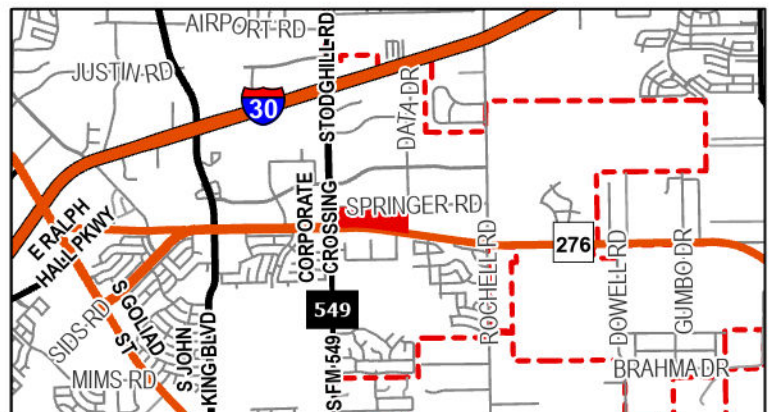
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Case Number: Z2025-003
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Case Type: Zoning
Zoning: Planned Development District 46 (PD-46)
Case Address: 2305 State Highway 276

Date Saved: 1/17/2025

For Questions on this Case Call: (972) 771-7745



EXETER 2975 DISCOVERY, LP
100 W MATSONFORD RD STE 5-250
WAYNE, PA 19087

HUDACK STEVE V AND AILEEN J
1090 VINTAGE COURT
VACAVILLE, CA 95688

DFW DISTRIBUTOR,
PETROLEUM INC.
1111 N BELTLINE RD STE #100
GARLAND, TX 75040

DFW DISTRIBUTOR PETROLEUM INC
1111 N BELTLINE RD STE #100
GARLAND, TX 75040

RESIDENT
1275 CORPORATE CROSSING
ROCKWALL, TX 75032

ABLES NORRIS BRADLEY
1855 SILVER VIEW LN
ROCKWALL, TX 75032

RAMIREZ JUAN
1858 SILVER VIEW LN
ROCKWALL, TX 75032

JOHNSON DAVID A AND PHYLLIS D
1890 COPPER RIDGE CIR
ROCKWALL, TX 75032

DE RUSSE MARIA NICOLE AND REUBEN DANIEL
1895 COPPER RIDGE CIR
ROCKWALL, TX 75032

ARCHER RANDY G & YOWAREE
1900 COPPER RIDGE CIR
ROCKWALL, TX 75032

LITTLE CHRISTOPHER MATTHEW
1905 COPPER RIDGE CIR
ROCKWALL, TX 75032

MINOR MORRIS & NORA A
1908 STERLING CT
ROCKWALL, TX 75032

VANZANDT CINTHYA MARISOL
1910 COPPER RIDGE CR
ROCKWALL, TX 75032

BALLOUT 7 LLC
1910 OAK POINT DRIVE
ALLEN, TX 75013

SCOTT SUSAN
1910 SILVER VIEW LN
ROCKWALL, TX 75032

GARZA CESAR AND ANA MARIE
1913 STERLING CT
ROCKWALL, TX 75032

WILLESS WAYNE & PRISCILLA K
1915 COPPER RIDGE CIR
ROCKWALL, TX 75032

BRYANT DAWN
1915 SILVER VIEW LN
ROCKWALL, TX 75032

SANCHEZ JOSE L
1918 STERLING CT
ROCKWALL, TX 75032

MEJIA BLAS & LUISA
1921 STERLING CT
ROCKWALL, TX 75032

BARENOS CYNTHIA
1924 EVERGREEN DR
ROCKWALL, TX 75032

PRADO JESSE E & CYNTHIA G
1930 EVERGREEN DRIVE
ROCKWALL, TX 75032

REYNOLDS RENA
1930 SILVERVIEW LN
ROCKWALL, TX 75032

RESIDENT
1935 COPPER RIDGE CIR
ROCKWALL, TX 75032

DIAZ JORGE L & LINDA A
1935 COPPER RIDGE CIR
ROCKWALL, TX 75032

LOZANO OSCAR & DIANA
1935 EVERGREEN DR
ROCKWALL, TX 75032

QUINTON JAMES D
1935 SILVER VIEW LN
ROCKWALL, TX 75032

RESIDENT
1936 EVERGREEN DR
ROCKWALL, TX 75032

SCHMIESING ALBERT W & BERTHA N
1942 EVERGREEN DRIVE
ROCKWALL, TX 75032

WELCH KEITH F & DEBORAH A
1943 EVERGREEN DR
ROCKWALL, TX 75032

NBN COMMERCIAL GROUP LLC
2040 N BELT LINE RD STE 400
MESQUITE, TX 75150

RESIDENT
2205 HWY 276
ROCKWALL, TX 75032

RESIDENT
2210 STATE HWY 276
ROCKWALL, TX 75032

RESIDENT
2245 HWY276
ROCKWALL, TX 75032

RESIDENT
2301 HWY276
ROCKWALL, TX 75032

CONNOLLY SQUARED LLC
2305 STATE HIGHWAY 276
ROCKWALL, TX 75032

TOMMY'S MOBILE BOAT & MOTOR SERVICE, INC
2315 STATE HIGHWAY 276
ROCKWALL, TX 75032

VALENZUELA MOISES BENEDICTO AND MARIA
ANTONIETA
2445 DORRINGTON DR
DALLAS, TX 75228

VACPARTS WAREHOUSE COM LLC
2578 STATE HWY 276
ROCKWALL, TX 75032

RESIDENT
2582 HWY276 RD
ROCKWALL, TX 75032

RESIDENT
2640 HWY276
ROCKWALL, TX 75032

RESIDENT
2690 HWY276
ROCKWALL, TX 75032

SHARP RICK
2740 STATE HWY 276 SUITE 100
ROCKWALL, TX 75032

RESIDENT
2754 HWY276
ROCKWALL, TX 75032

RESIDENT
2975 DISCOVERY BLVD
ROCKWALL, TX 75032

5 SHARP REAL ESTATE LLC
3021 RIDGE RD #160
ROCKWALL, TX 75032

RESIDENT
3055 DISCOVERY BLVD
ROCKWALL, TX 75032

PRBS PROPERTIES LLC
3216 HUNTER LANE
PLANO, TX 75093

RESIDENT
3225 SPRINGER LN
ROCKWALL, TX 75032

XCELON DEVELOPEMENT LLC
3225 MCLEOD DR SUITE 100
LAS VEGAS, NV 89121

VILLALPANDO URIEL AND DIANNE
3414 BERMUDA DRIVE
ROWLETT, TX 75088

RESIDENT
3465 SPRINGER RD
ROCKWALL, TX 75032

RESIDENT
3475 SPRINGER RD
ROCKWALL, TX 75032

SKIPPER JOSEPH AND
STEPHANIE BREANNE SKIPPER
3484 HAWTHORNE TRAIL
ROCKWALL, TX 75032

RESIDENT
3490 HAWTHORNE TR
ROCKWALL, TX 75032

URBINA MARIPAZ
3496 HAWTHORNE TRL
ROCKWALL, TX 75032

CPIV-354 RANCH TRAIL LLC
354/356 RANCH TRL
ROCKWALL, TX 75032

RESIDENT
3602 HAWTHORNE TR
ROCKWALL, TX 75032

RESIDENT
3605 HAWTHORNE TR
ROCKWALL, TX 75032

RESIDENT
3608 HAWTHORNE TR
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

DIXON TERRY STERLING III
515 MILLBROOK BLVD
SAN MARCOS, TX 78666

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
625 SUNSET HILL DR
ROCKWALL, TX 75087

KELLER JACQUELYN
8522 GARLAND RD
DALLAS, TX 75218

ZHANG WEIGANG & SONGYAN WU
854 LILY AVE
CUPERTINO, CA 95014

ALLEN FOODS INC
C/O RYAN LLC
AGENT FOR BIMBO BAKERIES USA 13155 NOEL
RD #100 LB73
DALLAS, TX 75240

AGREE LIMITED PARTNERSHIP
SUNBELT RENTALS, INC. STORE# 272
ATTN; PROPERTY TAX DEPT. 2341 DEERFIELD
DR.
FORT MILLS, SC 29715

BLACKLAND WATER CORP
ATTN ADA JO PHILLIPS
PO BOX 215
FATE, TX 75132

LATTIMORE MATERIALS COMPANY LP
PO BOX 2469
ADDISON, TX 75001

ALMO INVESTMENT II LTD
PO BOX 2599
WAXAHACHIE, TX 75168

MAK SPOT REAL ESTATE LLC
PO BOX 496585
GARLAND, TX 75049

LYNSTAR LLC
PO BOX 847
ROCKWALL, TX 75087

COLIN-G PROPERTIES INC
PO BOX 847
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

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ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-003: Zoning Change to Amend Planned Development District 46 (PD-46)

Hold a public hearing to discuss and consider a request by Trenton Austin of GT Plumbing Services, LLC on behalf Tim Connolly of Connolly Squared, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [*Ordinance No. 21-32*] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 18, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 18, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2025-003: Zoning Change to Amend Planned Development District 46 (PD-46)

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2025-003: Zoning Change to Amend Planned Development District 46 (PD-46)

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

IT WON'T AFFECT HOW MY BUSINESS OPERATES.

Name: Tommy Yetts Rockwall Marine

Address: 2315 Hwy 276 Rockwall, TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Date: 1/17/2025

To Whom It May Concern:

I am writing to inform you that GT Plumbing Services LLC is in the process of purchasing the property located at 2305 State Hwy 276, Rockwall, TX 75087. We are seeking a variance from the current zoning PD-46 to allow us to store vehicles, materials, Conex boxes, track machinery, and trailers overnight on the property.

We believe that this variance would enable us to conform to the practices of neighboring properties and ensure the efficient operation of our business. We are committed to maintaining the aesthetic and functional standards of the area and will take all necessary measures to ensure that our activities do not negatively impact the community. We are long residents of the City of Rockwall, and our kids attend RISD schools.

Thank you for your time and attention to this matter.

Sincerely,

Trenton Austin
GT Plumbing Services LLC

2305 State Hwy 276 Rockwall

Legend

- Rockwall Marine
- Storage Locker

Storage Space For:
Truck, Trailer, Mini X,
Skid Steer, Pipe rack,
Con X Box

Future Building

1st Cooling

Rockwall Marine

Truck Parking

Storage Locker

276



CITY OF ROCKWALL

ORDINANCE NO. 21-32

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46) [ORDINANCE NO. 99-05] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46), BEING A 47.37-ACRE TRACT OF LAND SITUATED WITHIN THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of an amendment Planned Development District 46 (PD-46) [*Ordinance No. 99-05*] for the purpose of allowing a *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition being a portion of a larger 47.37-acre Planned Development District that is situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 46 (PD-46) [*Ordinance No. 99-05*], which is more fully described and depicted in *Exhibit 'A'* of this ordinance, and hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 46 (PD-46) [*Ordinance No. 99-05*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No 99-05*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

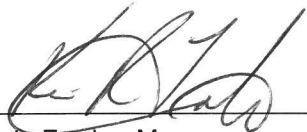
SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 04-38*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 04-38*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF AUGUST, 2021.



Kevin Fowler, Mayor

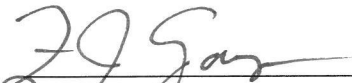
ATTEST:



Kristy Cole, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

EXHIBIT 'A':
Legal Description and Survey

BEING 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the *POINT OF BEGINNING*;

BEGINNING at a point in the intersection of Springer Rd and Data Dr. (NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet);

THENCE South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

THENCE North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

THENCE North 89° 48' 28" East, a distance of 2,660.985 feet, to the *POINT OF BEGINNING AND CONTAINING* 47.37 acres of land (2,063,262.886 square feet) more or less.

EXHIBIT 'A':
Legal Description and Survey

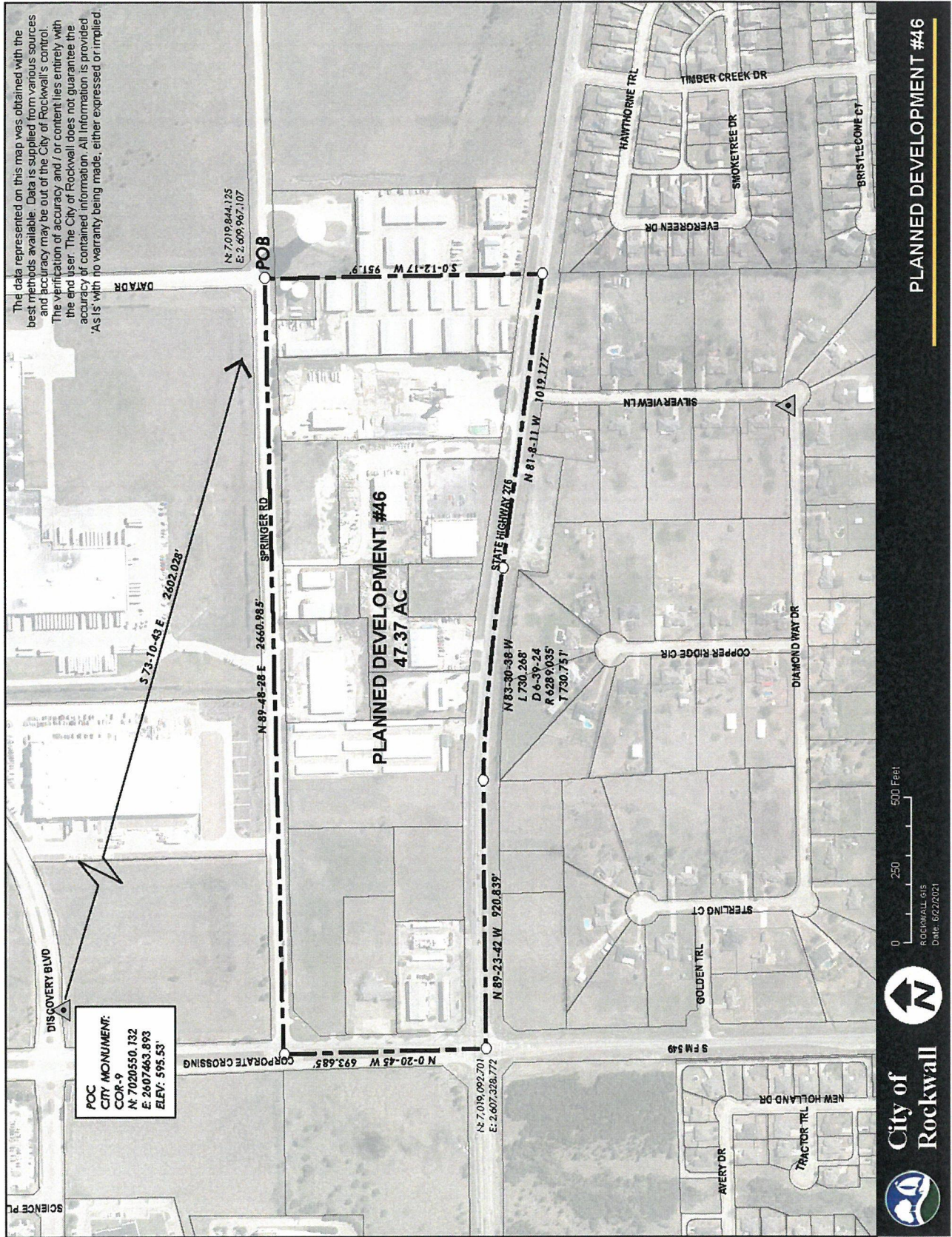


EXHIBIT 'B':
Concept Plan

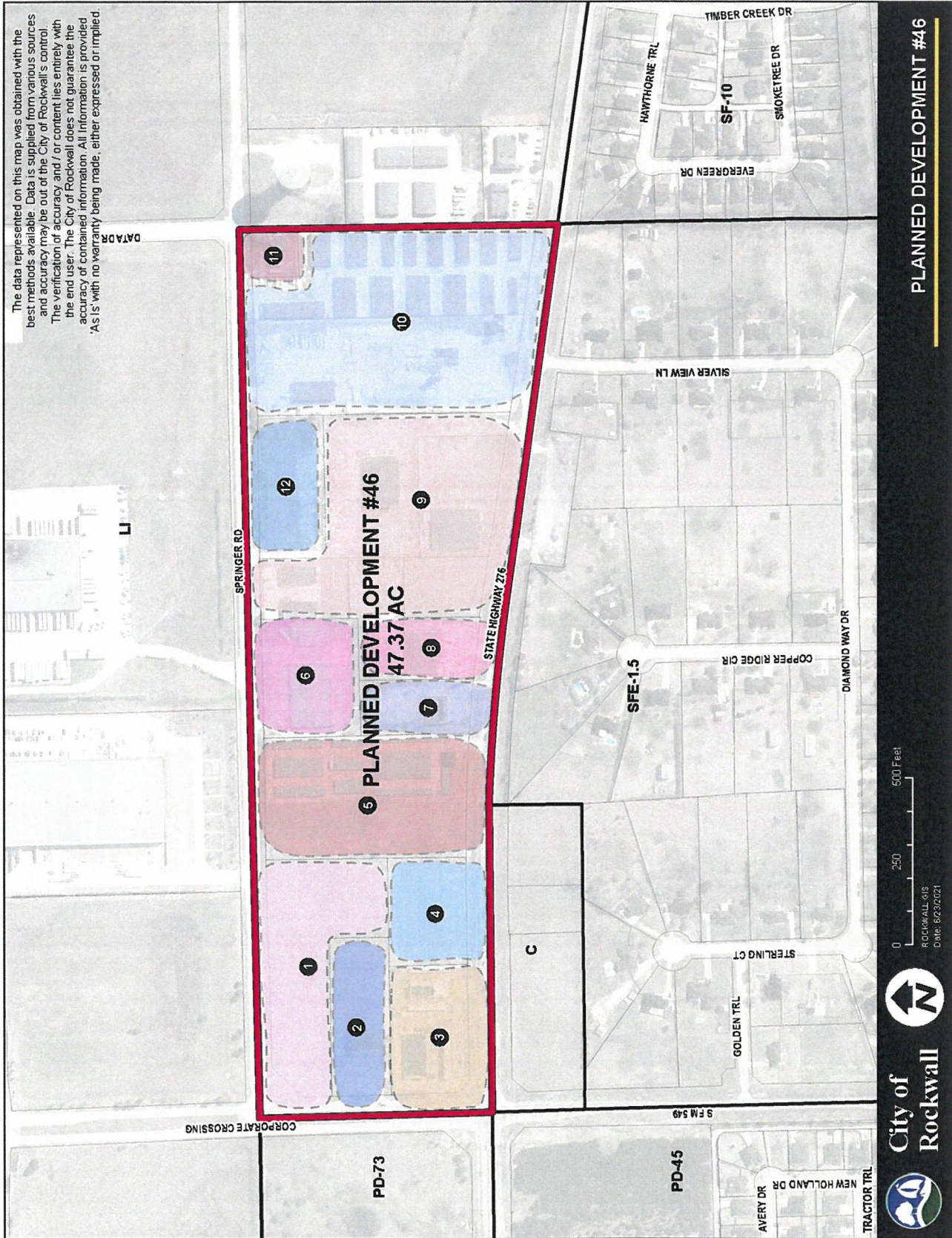


EXHIBIT 'C':
PD Development Standards

- (A) Purpose. The purpose of this amendment to Planned Development District 46 (PD-46) is to supersede *Ordinance No. 99-05*; however, this ordinance does not change the intent, restrictions, or land uses established in *Ordinance No. 99-05* with the exception of adding the *Warehouse* land use to *Tract 12* as depicted in *Exhibit 'B'* of this ordinance.
- (B) Permitted Land Uses. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the permitted land uses stipulated for properties in a Commercial (C) District as specified in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following land uses shall be permitted *by-right* on the corresponding tract:
- (1) Tract 3 [Tract 2, Lot 02].
 - Minor Automotive Repair Garage
 - (2) Tract 5 [Tract 2, Lot 06].
 - Mini-Warehouse
 - (3) Tract 6 [Tract 2, Lot 03].
 - Heavy Construction/Trade Yard
 - (4) Tract 7 [Tract 2, Lot 08].
 - Pawn Shop
 - (5) Tract 8 [Tract 2, Lot 07].
 - New or Used Boat Dealership
 - (6) Tract 9 [A Portion of Tract 2, Lot 00].
 - Trucking Company
 - (7) Tract 10 [Tract 2, Lot 13].
 - Concrete Batch Plant
 - Mini-Warehouse
 - (8) Tract 12 [A Portion of Tract 2, Lot 00].
 - Warehouse
- (C) Dimensional Requirements. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the dimensional requirements stipulated for properties in a Commercial (C) District as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (D) Legal Non-Conforming Status. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be allowed to maintain the same exterior building materials that are currently utilized on the existing building for any new buildings that are built; however, if an existing or new building is expanded to an amount that equals 50% of the appraised tax value of that building, the building shall be required to adhere to the requirements of the Commercial (C) District

EXHIBIT 'C':
PD Development Standards

as stipulated in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46) [ORDINANCE NO. 21-32] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46), BEING A 47.37-ACRE TRACT OF LAND SITUATED WITHIN THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Trenton Austin of GT Plumbing Services, LLC on behalf of Tim Connolly of Connolly Squared, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [Ordinance No. 21-32] for the purpose of allowing *Building Maintenance, Sales, and Service with Outside Storage* as a permitted land use on a 1.00-acre parcel of land identified as Tract 2-8, Abstract No. 186, of the J. A. Ramsey Addition being a portion of a larger 47.37-acre Planned Development District that is situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 46 (PD-46) [Ordinance No. 99-05], which is more fully described and depicted in *Exhibit 'A'* of this ordinance, and hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 46 (PD-46) [Ordinance No. 21-32] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No 21-32*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 04-38], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [Ordinance No. 04-38] of any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [Ordinance No. 04-38] (including references to the Unified Development Code), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3RD DAY OF MARCH, 2025.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: February 18, 2025

2nd Reading: March 3, 2025

EXHIBIT 'A':
Legal Description and Survey

BEING 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the **POINT OF BEGINNING**;

BEGINNING at a point in the intersection of Springer Rd and Data Dr. (NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet);

THENCE South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

THENCE North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

THENCE North 89° 48' 28" East, a distance of 2,660.985 feet, to the **POINT OF BEGINNING AND CONTAINING** 47.37 acres of land (2,063,262.886 square feet) more or less.

EXHIBIT 'A':
Legal Description and Survey



EXHIBIT 'B':
Concept Plan

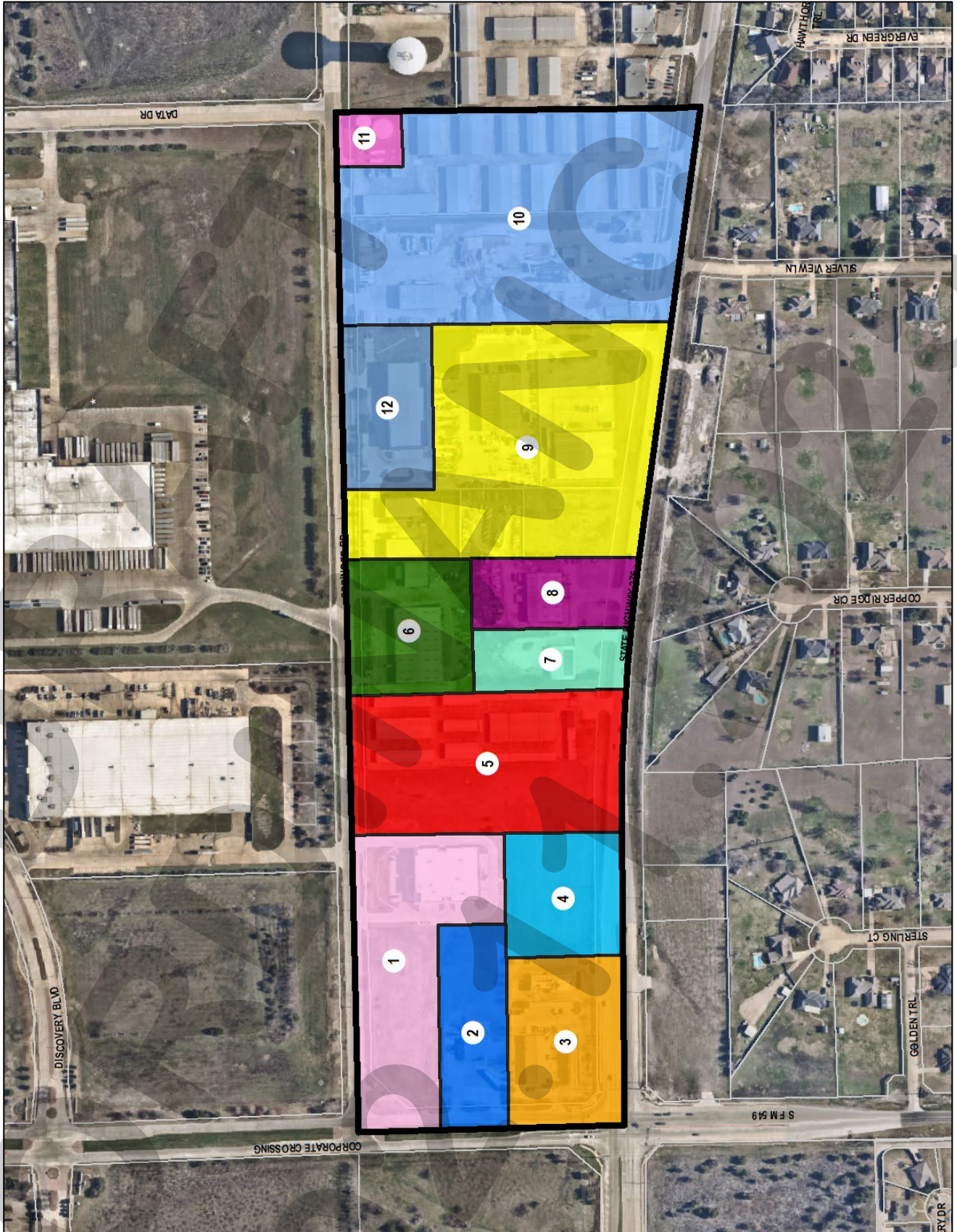


EXHIBIT 'C':
PD Development Standards

- (A) Purpose. The purpose of this amendment to Planned Development District 46 (PD-46) is to supersede *Ordinance No. 21-32*; however, this ordinance does not change the intent, restrictions, or land uses established in *Ordinance No. 21-32* with the exception of adding the *Building Maintenance, Service, and Sales with Outside Storage* land use to *Tract 7* as depicted in *Exhibit 'B'* of this ordinance.
- (B) Permitted Land Uses. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the permitted land uses stipulated for properties in a Commercial (C) District as specified in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following land uses shall be permitted *by-right* on the corresponding tract:

(1) Tract 3 [Tract 2, Lot 02].

- Minor Automotive Repair Garage

(2) Tract 5 [Tract 2, Lot 06].

- Mini-Warehouse

(3) Tract 6 [Tract 2, Lot 03].

- Heavy Construction/Trade Yard

(4) Tract 7 [Tract 2, Lot 08].

- Building Maintenance, Service, and Sales with Outside Storage¹

NOTES

¹: The *Building Maintenance, Service, and Sales with Outside Storage* shall be subject to the following *Conditional Land Use Standards*:

- (1) All outside storage shall comply with the exhibit in *Figure 1* below.
- (2) Heavy Equipment (*i.e. Track Machinery*) shall be permitted to be store on gravel; however, the storage of trucks, trailers, Conex boxes, or any other outside storage shall be on a concrete surface.
- (3) All outside storage shall be situated behind the building and not be visible from SH-276.
- (4) The outside storage areas shall be reviewed for visibility by the Planning and Zoning Commission at the time of site plan. Additional landscape screening may be required by the Planning and Zoning Commission and/or staff at the time of site plan approval.
- (5) All unpermitted improvements shall be removed from the property prior to site plan approval.

FIGURE 1. CONCEPT PLAN FOR 2305 SH-276



RED: OUTSIDE STORAGE AREA; **BLUE:** STORAGE OF SERVICE TRUCKS; **GREEN:** FUTURE BUILDING EXPANSION

(5) Tract 8 [Tract 2, Lot 07].

EXHIBIT 'C':
PD Development Standards

- New or Used Boat Dealership

(6) Tract 9 [A Portion of Tract 2, Lot 00].

- Trucking Company

(7) Tract 10 [Tract 2, Lot 13].

- Concrete Batch Plant
- Mini-Warehouse

(8) Tract 12 [A Portion of Tract 2, Lot 00].

- Warehouse

(C) Dimensional Requirements. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the dimensional requirements stipulated for properties in a Commercial (C) District as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(D) Legal Non-Conforming Status. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be allowed to maintain the same exterior building materials that are currently utilized on the existing building for any new buildings that are built; however, if an existing or new building is expanded to an amount that equals 50% of the appraised tax value of that building, the building shall be required to adhere to the requirements of the Commercial (C) District as stipulated in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: February 11, 2025
SUBJECT: SP2025-001; *Amended Site Plan for Advantage Storage*

The applicant, Brian Baca of ADV Rockwall John King Property Owner, LLC, is requesting the approval of an Amended Site Plan to update the landscape plan for a previously approved *Mini Warehouse Facility* [i.e. Case No. SP2022-044] and its subsequent amendment [i.e. Case No. SP2022-062]. The subject property is a 7.154-acre parcel of land (i.e. Lot 1, Block 1, Cambridge Estates), zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, and situated within the SH-205 Overlay (SH-205 OV) District and the SH-276 Overlay (SH- 276 OV) District. The subject property is generally located at the southeast corner of the intersection of John King Boulevard and SH-276. On September 13, 2022, the Planning and Zoning Commission approved the original site plan [i.e. Case No. SP2022-044] for the construction of a *Mini-Warehouse Facility* (i.e. *Advantage Storage*) on the subject property. As part of this approval, the Planning and Zoning Commission approved variances to the building design standards that included: [1] a variance to the *Primary* and *Secondary* building materials and masonry composition, [2] a variance to the minimum the stone requirements, [3] a variance to the four (4) sided architecture requirements, and [4] a variance to the roof design standards. In addition, the City Council approved exceptions to the conditional land use standards for the *Mini-Warehouse* land use on September 19, 2022, that included: [1] an exception to the maximum number of *Mini-Warehouse* units permitted per acre, [2] an exception to the maximum building height, and [3] an exception to the roof design standards for a *Mini-Warehouse Facility*. On January 10, 2023, the Planning and Zoning Commission approved an Amended Site Plan [i.e. Case No. SP2022-062], which allowed for an increase in the variance to the minimum stone requirements. Following these approvals, the applicant submitted civil engineering plans, a final plat, and a building permit for the proposed *Mini-Warehouse Facility*, and the project is currently under construction. On January 17, 2025, the applicant -- *Brian Baca* -- submitted an application requesting to update the landscape plan due to issues raised by Atmos concerning the plantings proposed within the 50-foot Atmos easement on the south side of the property adjacent to SH-276.

The updated landscape plan proposes small to mid-sized shrubbery and an 18"-24" undulating berm. According to Subsection 06.02(E)(1), of Article 05, of the *General Overlay District Development Standards* of the *Unified Development Code (UDC)*, "(a)ll landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway..." In this case, the applicant is requesting a variance to these requirements along SH-276. Specifically, the applicant is [1] proposing a berm that does not meet the minimum requirements, [2] proposing to remove all canopy trees, and [3] proposing to remove all accent trees. Staff should note, that in the original Site Plan case, the applicant proposed compensatory measures to off-set the requested (*above mentioned*) variances. These included: [1] *additional shrubs along SH-276*, [2] additional shrubs along *Building A*, [3] additional shrubs along *Building D*, [4] additional shrubs along John King Boulevard, [5] using more than the required 20% stone on ten (10) out of the 16 facades focusing on the facades facing the public rights-of-way, [6] 16.80% over the required landscape area, [7] more than required canopy trees in the landscape buffer along John King Boulevard, [8] *more than the required canopy trees along SH-276*, [9] *more than the required accent trees along SH-276*, [10] extra trees along the detention area. As noted in the original Site Plan case memo, some of these compensatory measures were associated with requirements of the Overlay Districts and were not truly compensatory measures. In addition, based on the applicant's current request three (3) of these compensatory measures (i.e. *the ones underlined and italicized above*) would be going away with the current request. Staff should also note, that the Planning and Zoning Commission approved an amended site plan (i.e. SP2022-062) -- *as outlined above* -- for material changes to the building. As compensatory measures for this case, the applicant proposed: [1] *adding large shrubs along SH-276*, [2] adding shrubs along the front of *Building A*, and [3] *having 37% landscaping in lieu of the required 20%*. In this case the proposed request would change or remove two (2) of the three (3) compensatory measures associated with this case.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that applicant provide compensatory measures that directly offset the requested exception. On January 28, 2025, the Planning and Zoning Commission approved a motion to table the Amended Site Plan for two (2) weeks by a vote of 4-0, with Commissioners Thompson, Hustings, and Conway absent to allow the applicant to bring a landscape plan forward that offers the same number of trees relocated on the property and provide compensatory measures for the requested variance. On February 4, 2025, the applicant provided an updated landscape plan showing that all trees were relocated on the back of the property or within the John King Boulevard landscape buffer. In this case, the applicant is also providing four (4) additional accent trees along John King Boulevard, increased the landscape buffer along SH-276 from 15-feet to 35-feet, and provided double the number of plantings (*in the form of shrubbery*) along SH-276 as compensatory measures to offset the requested variances to the *General Overlay District Standards*. Based on a question raised at the January 28, 2025 Planning and Zoning Commission meeting from Commissioner Womble, staff did confirm that the updated plan does meet the tree mitigation requirements for this property. Based on this, the applicant's request appears to meet the intent of the requirements of the Unified Development Code (UDC); however, variances to the *General Overlay District Standards* are a discretionary decision for the Planning and Zoning Commission and require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **NE CORNER JOHN KING BLVD & SH 276**

SUBDIVISION **CAMBRIDGE ESTATES**

LOT

1

BLOCK

1

GENERAL LOCATION **NE CORNER JOHN KING BLVD & SH 276**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD10 HIGHWAY OVERLAY**

CURRENT USE

UNDER CONSTRUCTION

PROPOSED ZONING **PD10 HIGHWAY OVERLAY**

PROPOSED USE

MINI STORAGE

ACREAGE **3.682**

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **ADV Rockwall John King Property Owner LLC**

APPLICANT **SAME**

CONTACT PERSON **BRIAN BACA**

CONTACT PERSON

ADDRESS **2221 Lakeside Blvd. Suite 1260**

ADDRESS

CITY, STATE & ZIP **Richardson, TX 75082**

CITY, STATE & ZIP

PHONE **214-308-5225**

PHONE

E-MAIL **bbaca@advconstruction.net**

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

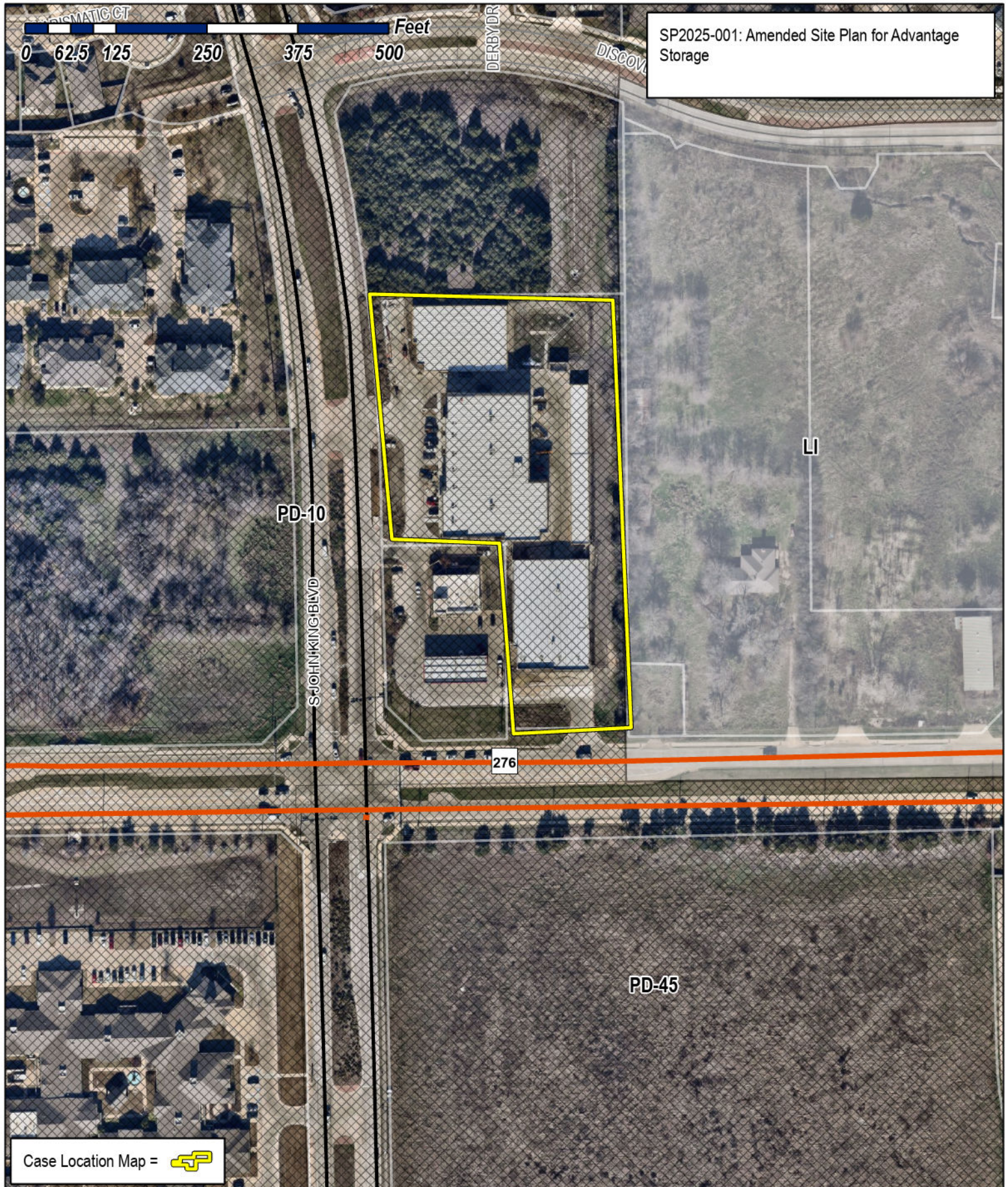
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21 ST DAY OF JANUARY, 20 25. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21 ST DAY OF JANUARY, 20 25.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____



SP2025-001: Amended Site Plan for Advantage Storage

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





February 4, 2025

Bethany Ross, Planner
City of Rockwall
385 South Goliad
Rockwall, Texas 75087

RE: Request for Amendment to Approved Site Plan Landscaping
COM2023-2392

Bethany,

We are requesting to amend the required Hwy 276 landscape buffer by removing the ten (10) large shrubs and three (3) shade trees because of restrictions for plantings on the high-pressure gas line easement owned by Atmos Energy. To accommodate the intent of the overlay landscape buffer ordinance and restrictions by the owner of the easement, we've proposed the following changes:

- Relocate the three (3) shade trees to the detention pond area
- Install eleven (11) accent trees in the John King overlay landscape buffer. Ordinance requirement is seven (7) accent trees for this length of frontage.
- Increase the width of the front landscape area by 20' (1.33X wider than original), making the total width of the enhanced landscaping 35' in lieu of 15'.
- Install Atmos approved shrubbery and ornamental grass in the additional width of the landscape area at the same density as the original landscape buffer area. This increases the total number of plants between Hwy 276 and the front of the building to more than double the original amount.

The attached revised LP-1 and LP-2, dated 2/03/25, reflect these changes.

We sincerely hope that these accommodations and compensatory measures will make up for the oversight of large shrubs and shade trees being proposed and approved to be planted in a restricted area. We've continued to develop this property in good faith with the intent of presenting a beautiful facility and improvement to the community. These measures are intended to surpass the parkway beautification by landscaping that the City is promoting.

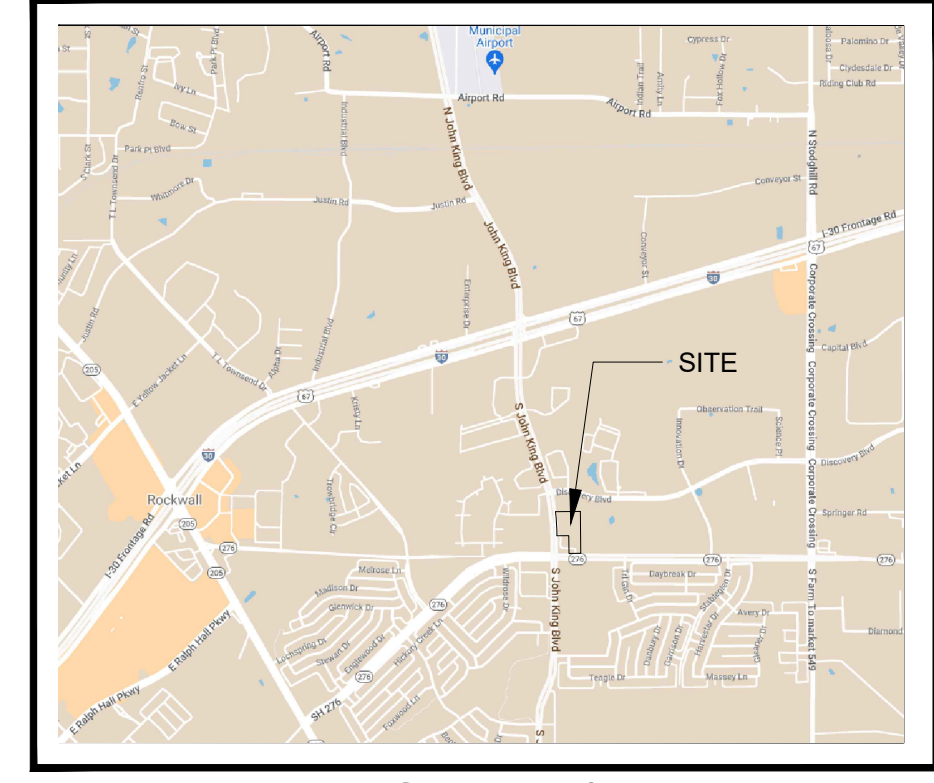
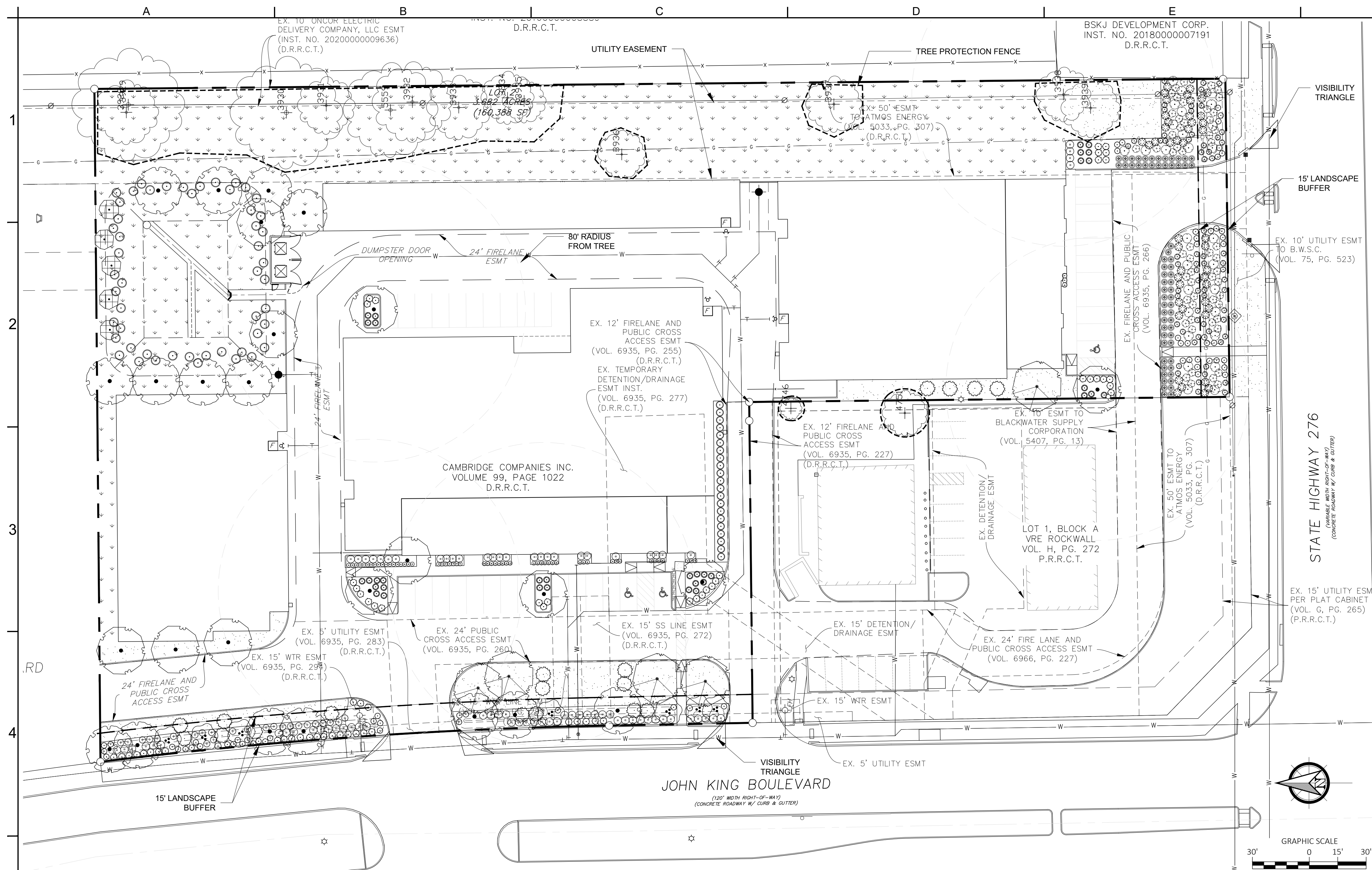
Please inform me immediately of any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Rick Jones', with a long, sweeping flourish extending to the right.

Rick Jones,
Managing Member of ADV Rockwall John King Property Owner,

Cc: Brian Baca, Advantage Construction



VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	5	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	4" CAL	14'-16" HT
	15	QUERCUS MUHLENBERGIA CHINOJAPIN OAK	4" CAL	14'-16" HT
	11	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
*12 CANOPY TREES TO BE USED FOR MITIGATION. ALL CANOPY TREES MUST BE 4" CAL.				
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	7	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	3" CAL 1" / STEM	4' -6" HT
	18	ILEX DECIDUA POSSUM HAW 3-5 STEMS	3" CAL 1" / STEM	4' -6" HT
LARGE SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	5	RHUS VIRENS V. VIRENS EVERGREEN SUMAC	10 GAL	4'-6" HT
	27	TAXUS CUSPIDATA SPREADING YEW	10 GAL	3'-5" HT
MEDIUM SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	81	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL	
	23	LOROPETALUM CHINENSE 'PURPLE DAYDREAM' DWARF FRINGEFLOWER	5 GAL	
	54	ILEX VOMITORIA 'NANA' DWARF YAUPON HOLLY	5 GAL	
	45	NANDINA DOMESTICA 'HARBOUR DWARF' HARBOUR DWARF NANDINA	5 GAL	
SMALL SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	63	BERBERIS THUN. 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY	5 GAL	
	34	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	62	YUCCA FILAMENTOSA COLOR GUARD YUCCA	3 GAL	
	63	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	5 GAL	
	64	LANTANA MONTEVIDENSIS CREEPING LANTANA	5 GAL	
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	51	MUHLENBERGIA RIGENS DEER GRASS	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	10,785 SF	CYNODON 'TIF-TUF' TIF-TUF HYBRID BERMUDA GRASS	SOD	
	38,300 SF	BLACKLAND PRAIRIE SEED MIX NATIVE AMERICAN SEED (SEEDSOURCE.COM)	HYDROSEED	

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	119.75'
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (31) TO BE PLANTED ONSITE:	124.0'
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL):	0'
TOTAL MITIGATION PROVIDED:	124.0'

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED). IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS), CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

UTILITY SCREENING NOTE:
GROUND MOUNTED EQUIPMENT AND AIR CONDITIONING UNITS SHALL BE SCREENED UTILIZING PLANTINGS, BERMS, WALLS MATCHING THE MAIN STRUCTURE, OR AN ARCHITECTURAL FEATURE THAT IS INTEGRAL TO THE BUILDING'S DESIGN.

LANDSCAPE STANDARDS	
05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	15' WIDE BUFFER REQ. W/ 2 CANOPY + 4 ACCENT TREE PER 100 LIN. FT. OF FRONTAGE. GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE, 30" HIGH, MIN. 48" MAX. HT.
JOHN KING BLVD.: REQUIRED PLANTING: PROVIDED 15' BUFFER:	±344.8' STREET FRONTAGE 7 CANOPY TREES, 14 ACCENT TREES, BERM W/ SHRUBS 7 NEW CANOPY TREES, 17 ACCENT TREES W/ BERM AND SHRUBS (30" HIGH MIN.)
ST. HWY. 276 OVERLAY DISTRICT: ±167.8 STREET FRONTAGE	15' WIDE LANDSCAPE BUFFER W/ GR. COVER, BUILT-UP BERM & SHRUBS (30" MIN.-48" MAX) ALONG ENTIRE LENGTH OF FRONTAGE. 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FEET OF FRONTAGE
REQUIRED PLANTING: PROVIDED 15' BUFFER:	3 CANOPY TREES, 7 ACCENT TREES, UNABLE TO BE PROVIDED IN BUFFER DUE TO EXISTING ATMOS GAS EASEMENT. 3 CANOPY TREES AND 11 ACCENT TREES PROVIDED BUT LOCATED ELSEWHERE ON PROJECT DUE TO EASEMENT RESTRICTIONS. BERM AND ATMOS APPROVED SHRUBS PROVIDED IN THE REQUIRED 15' LANDSCAPE BUFFER. ADDITIONAL ATMOS APPROVED SHRUBS AND ORNAMENTAL GRASSES PLACED IN ADDITIONAL 20' AREA ADJACENT TO THE REQUIRED BUFFER (TOTAL 35')
EAST PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED PD-10
NORTH PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED LIGHT INDUSTRIAL
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING SCREENING FROM RESIDENTIAL	NOT APPLICABLE NOT APPLICABLE
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±160,353 SF 32,071 SF (20%) ±60,740 SF (37.9%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	±22,316 SF (63.3%)
MIN. SIZE OF AREAS:	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASIN (XERISCAPE OPTION): PROPOSED DETENTION BASIN LANDSCAPING:	MIN. (1) CANOPY TREE AND (4) SHRUB/ORNAMENTAL GRASS PER 750 SF OF DRY LAND AREA 10,890 / 750 = 14; 14 x 4 = 56 SHRUBS + NATIVE GRASSES
PARKING LOT LANDSCAPING PROPOSED PARKING AREA: REQ. PARKING LOT LANDSCAPING:	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA. ±29,004 SF ±1,450 SF (29,004 x 5%) AND (1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES INTERNAL TO PARKING AREAS (PARKING AREA OVER 20,000 SF) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK ±1,764 SF 34 PARKING SPACES / 10 = 3 TREES 5 CANOPY TREES
PROPOSED PARKING LOT LANDSCAPING: TREES PROVIDED:	34 PARKING SPACES / 10 = 3 TREES 5 CANOPY TREES

SITE DATA TABLE	
EXISTING USE:	VACANT
PROPOSED USE:	MINI-WAREHOUSE & OFFICE SUITES
EXISTING ZONING DISTRICT:	PLANNED DEVELOPMENT (PD-10)
SITE AREA (LOT 2):	3,682 AC (160,388 SF)
SITE AREA (LOT 3):	2,565 AC (111,719 SF)
TOTAL SITE AREA:	6,247 AC (272,107 SF)
FOR LOT 2 ONLY	
BUILDING AREA	MINI-WAREHOUSE OFFICE SUITES
BUILDING A (3 STORIES):	69,250 SF 4,400 SF
BUILDING B (1 STORY):	11,350 SF 0 SF
BUILDING C (1 STORY):	4,000 SF 0 SF
BUILDING D (1 STORY):	13,100 SF 3,000 SF
TOTAL BUILDING AREA:	105,100 SF
TOTAL BUILDING FOOTPRINT AREA:	56,000 SF
TOTAL STORAGE UNITS:	635 UNITS
	REQUIRED PROVIDED
MAXIMUM LOT COVERAGE:	96,233 SF (60%) 56,000 SF (35%)
FLOOR TO AREA RATIO:	4:1 0.66:1
MAXIMUM BUILDING HEIGHT:	60 FT 42 FT
LANDSCAPE AREA:	32,076 SF (20%) 56,982 SF (36.8%)
PARKING REQUIRED:	MINI-WAREHOUSE OFFICE SUITES
	25 STALLS 25 STALLS
	(3 STALLS + 1/100 UNITS) (1/300 SF)
TOTAL PARKING REQUIRED:	34 STALLS
TOTAL PARKING PROVIDED:	34 STALLS
NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING STANDARDS TO BE FOLLOWED FOR A NON-RESIDENTIAL DEVELOPMENT.	



APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____
WITNESS OUR HANDS, THIS _____ DAY OF _____
PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

REVISION

NO.

DATE

TEL: 214-295-8775

8300 Walnut Hill Lane, Suite 905
Dallas, Texas 75231
Firm Registration #F-2252

02/03/2025

ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

LANDSCAPE PLANTING PLAN

PROJECT: 0714/2022

CLIENT: ADVANTAGE STORAGE

DRAWN BY: LL

DESIGNER: LL

REVIEWER: BP

U.S. PROJECT: 2257

SHEET

LP-1

CITY CASE NO. #####

PLANTING SPECIFICATIONS

GENERAL

- 1. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
2. SCOPE OF WORK

PRODUCTS

- 1. ALL MANUFACTURED PRODUCTS SHALL BE NEW
2. ROOT SYSTEMS SHALL BE HEALTHY
3. TREES MAY BE PLANTED FROM CONTAINERS

METHODS

- 1. SOIL PREPARATION
2. SOIL TESTING
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS

SUBMITTALS

- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED
2. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS

GENERAL PLANTING

- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES

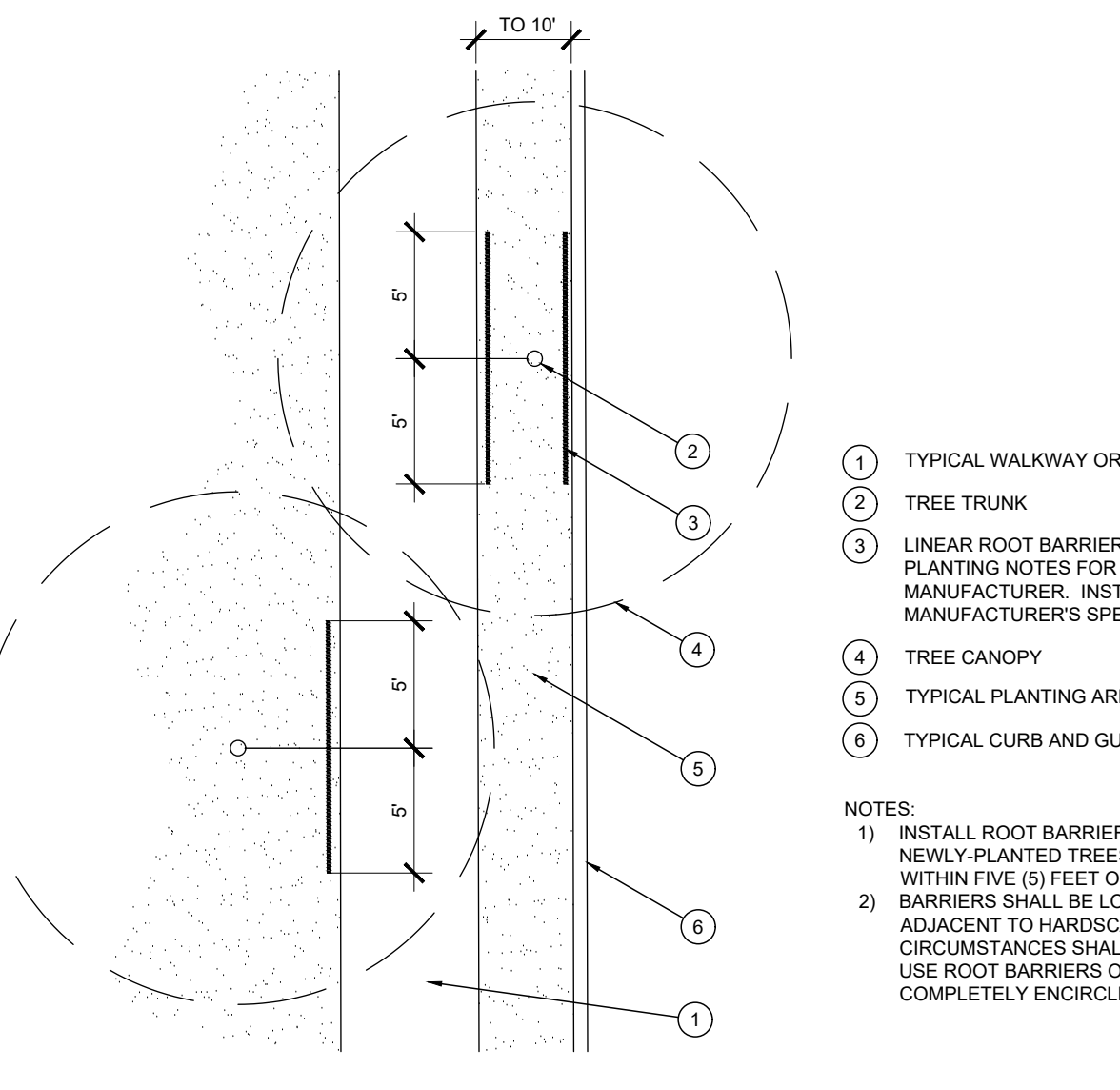
SHRUB, PERENNIAL AND GROUND-COVER PLANTING

- 1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS

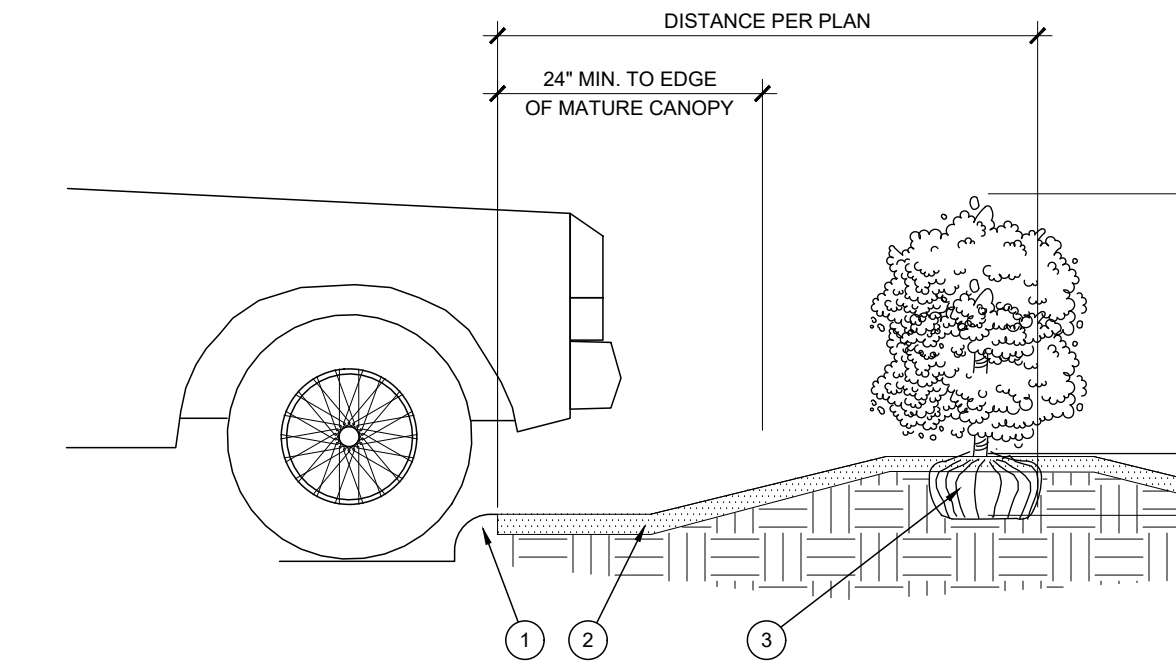
LANDSCAPE MAINTENANCE

- 1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM

OPEN LANDSCAPE PARKWAY OR ISLAND



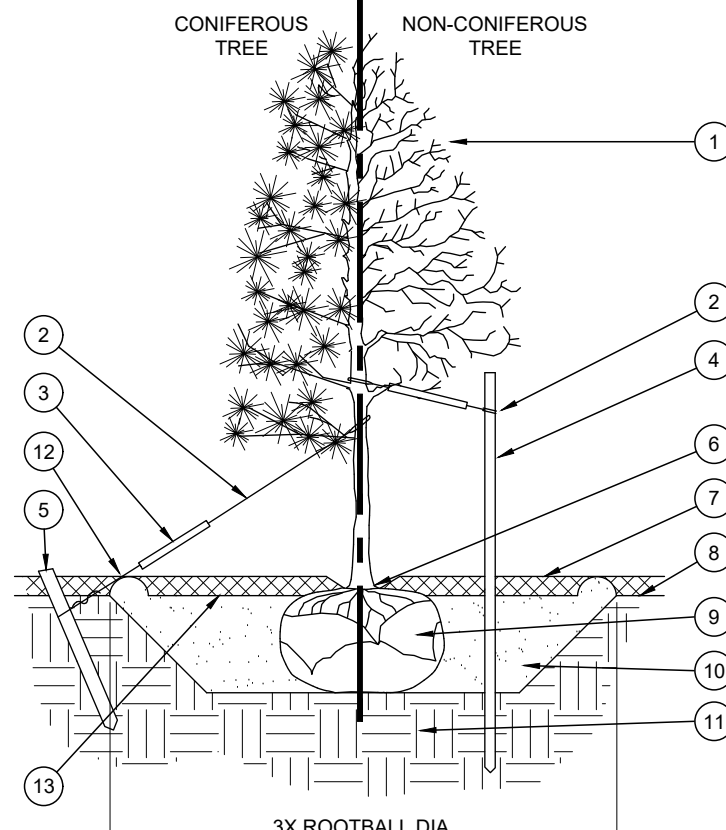
ROOT BARRIER - PLAN VIEW SCALE: NOT TO SCALE



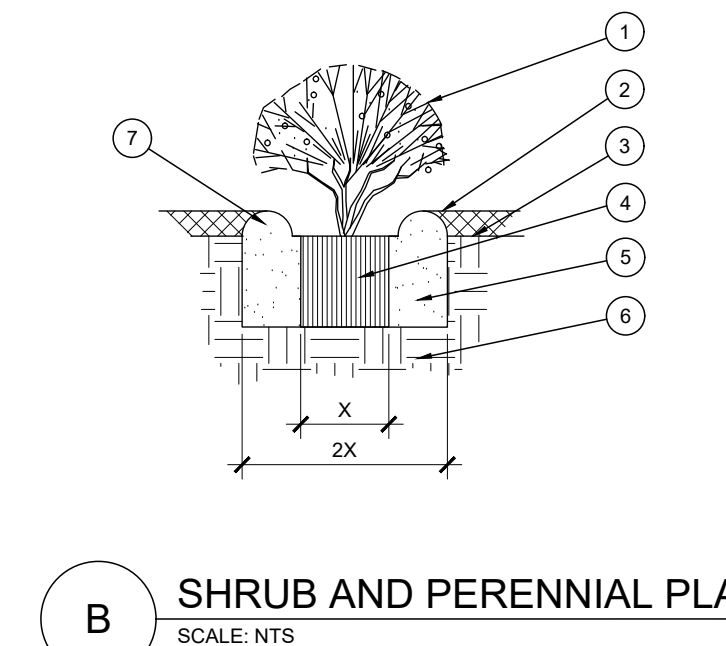
PLANTING AT PARKING AREA SCALE: NOT TO SCALE

IRRIGATION CONCEPT

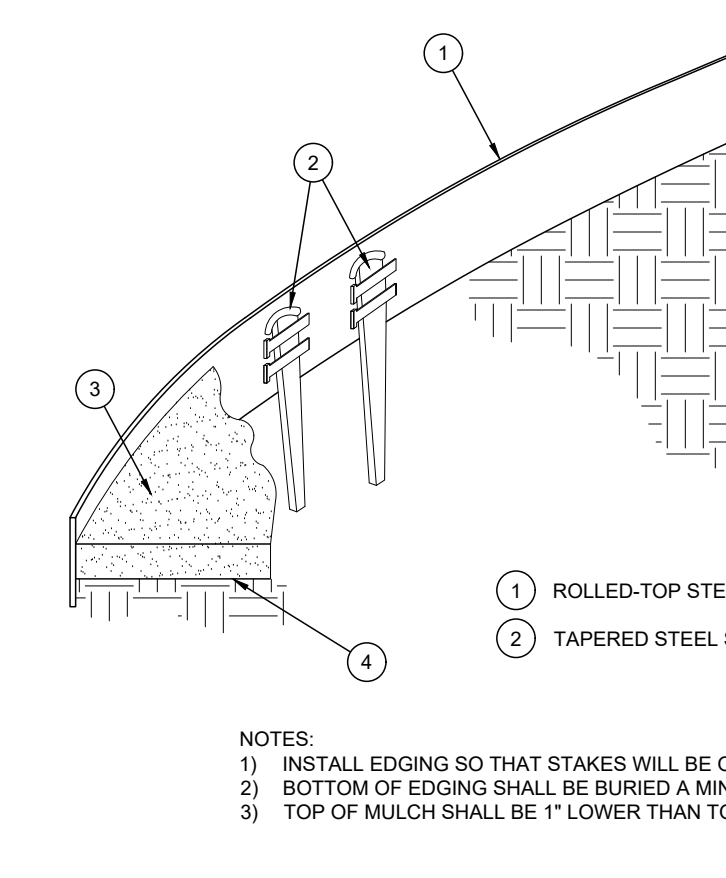
- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER



TREE PLANTING SCALE: NOT TO SCALE



SHRUB AND PERENNIAL PLANTING SCALE: NTS



STEEL EDGING SCALE: NOT TO SCALE

- 1. TREE CANOPY
2. CINCH-TIES (2" X 1/4" GAL. TIES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS

- 1. SHRUB, PERENNIAL OR ORNAMENTAL GRASS
2. MULCH, TYPE AND DEPTH PER PLANS

- 1. CURB
2. MULCH LAYER
3. PLANT
4. TURF (WHERE SHOWN ON PLAN)

- 1. ROLLED-TOP STEEL EDGING PER PLANS
2. TAPERED STEEL STAKES
3. MULCH, TYPE AND DEPTH PER PLANS
4. FINISH GRADE

- 1. INSTALLED SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED
2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS...

WITNESS OUR HANDS, THIS ___ DAY OF ___, 2025

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

www.urbanstruct.com TEL: 214-295-5775



8340 Walnut Hill Lane, Suite 905 Dallas, Texas 75231 Farm Registration # F22252

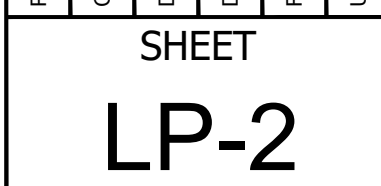
02/03/2025

ADVANTAGE STORAGE 1701 STATE HIGHWAY 276

OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PLANTING DETAILS & SPECS

Table with project details including client (ADVANTAGE STORAGE), drawing date (07/14/2025), and sheet number (LP-2).



SHHEET LP-2

Atmos Energy Approved Vegetation

The following plants are allowed on Atmos Energy's right of way. These plants have less than 4' growth potential and a non-intrusive root system. They are also local to the North Texas climate.

Shrub

Agave
American BeautyBerry
Barberry
Cast Iron Plant
Color Guard Yucca
Compact Nandina
Drift Rose
Dwarf Boxwood
Dwarf Chinese Holly
Dwarf Indian Hawthorn
Dwarf Spiera
Dwarf Variegated
Dwarf Yaupon Holly
Flirt Nandina
Harbor Dwarf Nandina
Miniature Crape Myrtle
Rose Creek Abelia
Rosemary
Spreading Yew
Variegated Abelia
Wheeler's Dwarf

Perennial

Autumn Salvia
Black-Eyed-Susan
Blackfoot Daisy
Blue Mealy Sage
Calylophus
Cone Flower
Creeping Lantana
Daylily
Dwarf Mexican Petunia
Flame Acanthus
Garden Phlox
Gaura
Holly Fern
Lamb's Ear
Wood Fern

Ornamental Grass

Berkeley's Sedge
Gulf Muhly
Hameln's Fountain
Mexican Feather

Groundcover

Ajuga
Asian Jasmine
Creeping Juniper
Creeping Rosemary
Lirope, regular or giant
Mondo Grass
Purple Euonymus



Customer Service: 888.286.6700
atmosenergy.com/pipelinerenewal



Rose Creek Abelia



Dwarf Yaupon Holly



Daylily



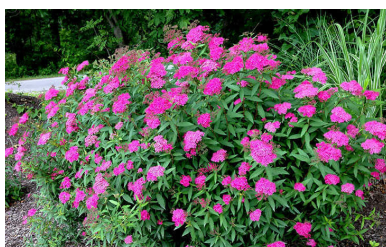
Harbor Dwarf Nandina



Lily Turf



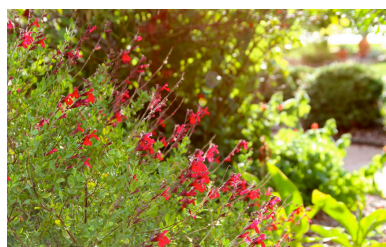
Black-Eyed Susan



Dwarf Spirea



Mexican Feather grass



Greggs Salvia

PAVEMENT LEGEND

	EXISTING PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT

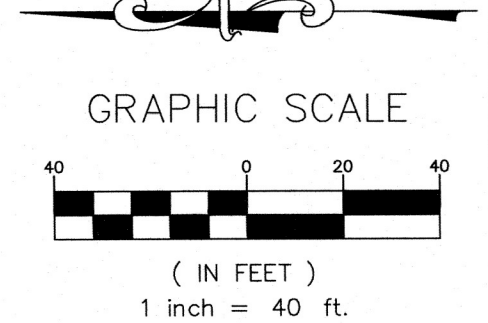
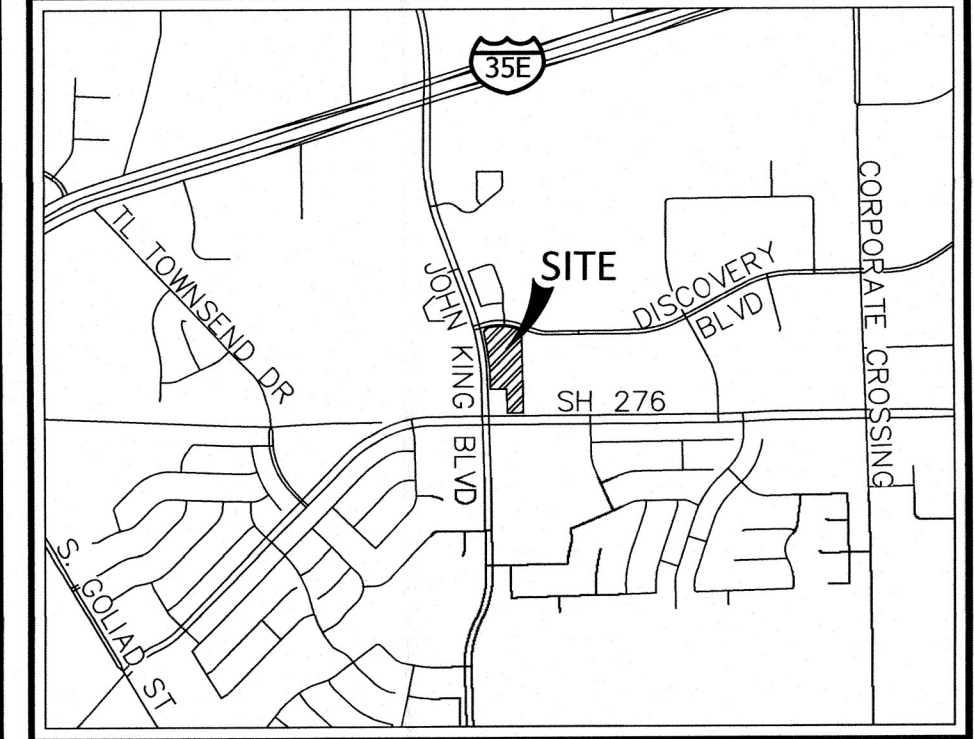
SITE DATA TABLE

EXISTING USE:	VACANT
PROPOSED USE:	MINI-WAREHOUSE & OFFICE SUITES
EXISTING ZONING DISTRICT:	PLANNED DEVELOPMENT (PD-10)
SITE AREA (LOT 2):	3.682 AC (160,388 SF)
SITE AREA (LOT 3):	2.565 AC (111,719 SF)
TOTAL SITE AREA:	6.247 AC (272,107 SF)

FOR LOT 2 ONLY	
BUILDING AREA:	MINI-WAREHOUSE 73,408 SF / OFFICE SUITES 4,400 SF
BUILDING B (1 STORY):	11,350 SF / 0 SF
BUILDING C (1 STORY):	5,500 SF / 0 SF
BUILDING D (1 STORY):	15,534 SF / 2,961 SF
TOTAL BUILDING AREA:	105,792 SF
TOTAL BUILDING FOOTPRINT AREA:	56,382 SF
TOTAL STORAGE UNITS:	635 UNITS
REQUIRED:	PROVIDED
MAXIMUM LOT COVERAGE:	96,233 SF (60%) / 56,500 SF (35%)
FLOOR TO AREA RATIO:	4:1 / 0.86:1
MAXIMUM BUILDING HEIGHT:	60 FT / 42 FT

LANDSCAPE AREA:	32,078 SF (20%) / 58,982 SF (36.8%)
PARKING REQUIRED:	MINI-WAREHOUSE 9 STALLS / OFFICE SUITES (3 STALLS + 1/100 UNITS) (1/200 SF)
TOTAL PARKING REQUIRED:	34 STALLS
TOTAL PARKING PROVIDED:	34 STALLS

NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING STANDARDS TO BE FOLLOWED FOR A NON-RESIDENTIAL DEVELOPMENT.

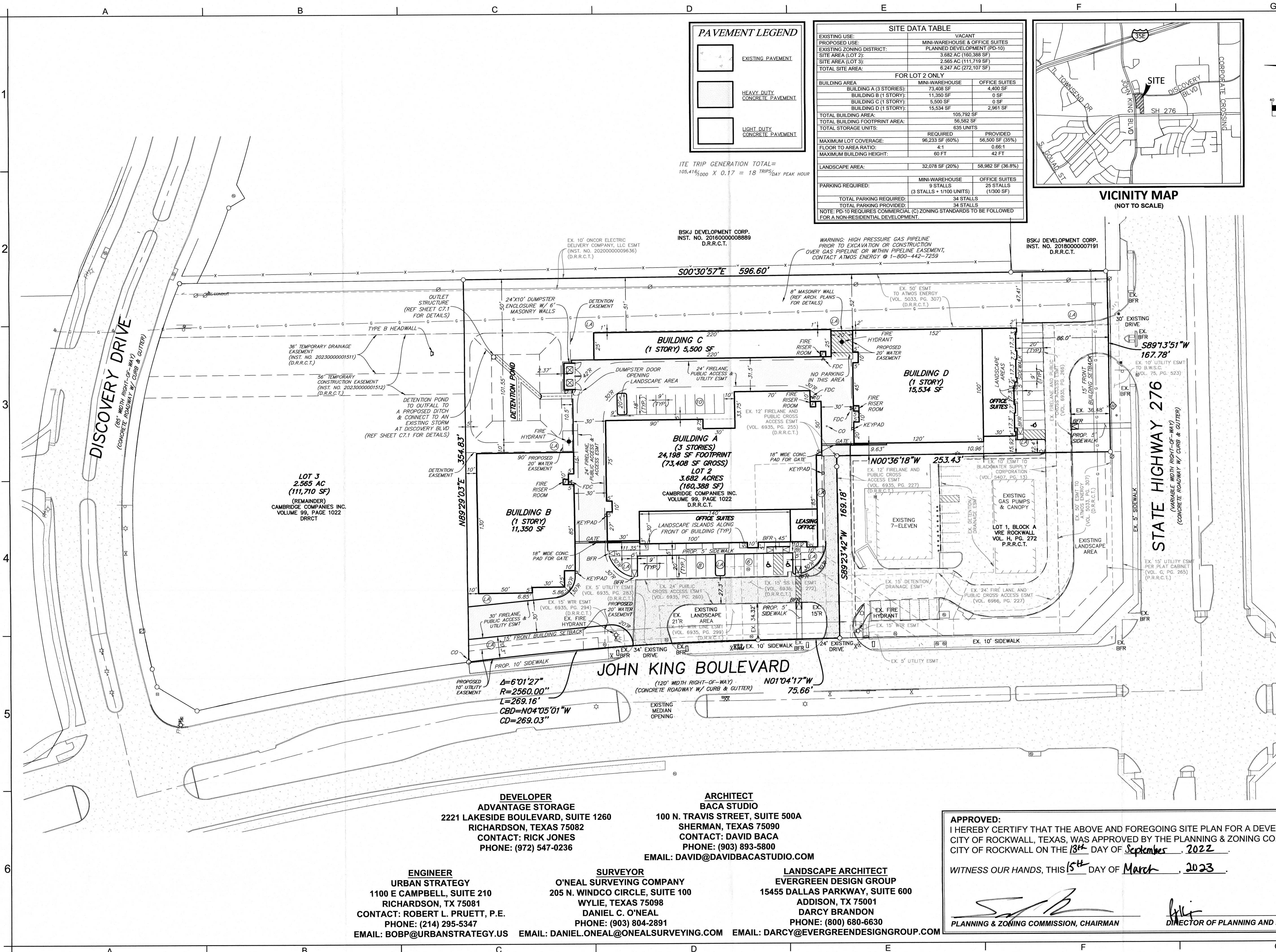


TOCS
1-800-245-4545
tcdicket@1-call.com

ITE TRIP GENERATION TOTAL=
105,416/1000 X 0.17 = 18 TRIPS/DAY PEAK HOUR

WARNING: HIGH PRESSURE GAS PIPELINE
PRIOR TO EXCAVATION OR CONSTRUCTION
OVER GAS PIPELINE OR WITHIN PIPELINE EASEMENT,
CONTACT ATMOS ENERGY @ 1-800-442-7259

BSKJ DEVELOPMENT CORP.
INST. NO. 2018000007191
D.R.R.C.T.



LOT 3
2.565 AC
(111,710 SF)
(REMAINDER)
CAMBRIDGE COMPANIES INC.
VOLUME 99, PAGE 1022
D.R.R.C.T.

BSKJ DEVELOPMENT CORP.
INST. NO. 2016000008889
D.R.R.C.T.

JOHN KING BOULEVARD
(120' WIDTH RIGHT-OF-WAY)
(CONCRETE ROADWAY W/ CURB & GUTTER)
NO104'17"W
75.66'

STATE HIGHWAY 276
(VARIABLE WIDTH RIGHT-OF-WAY)
(CONCRETE ROADWAY W/ CURB & GUTTER)
SB913'51"W
167.78'

DEVELOPER
ADVANTAGE STORAGE
2221 LAKESIDE BOULEVARD, SUITE 1260
RICHARDSON, TEXAS 75082
CONTACT: RICK JONES
PHONE: (972) 547-0236

ARCHITECT
BACA STUDIO
100 N. TRAVIS STREET, SUITE 500A
SHERMAN, TEXAS 75090
CONTACT: DAVID BACA
PHONE: (903) 893-5800
EMAIL: DAVID@DAVIDBACASTUDIO.COM

ENGINEER
URBAN STRATEGY
1100 E CAMPBELL, SUITE 210
RICHARDSON, TX 75081
CONTACT: ROBERT L. PRUETT, P.E.
PHONE: (214) 295-5347
EMAIL: BOBP@URBANSTRATEGY.US

SURVEYOR
O'NEAL SURVEYING COMPANY
205 N. WINDCO CIRCLE, SUITE 100
WYLIE, TEXAS 75098
DANIEL C. O'NEAL
PHONE: (903) 804-2891
EMAIL: DANIEL.ONEAL@ONEALSURVEYING.COM

LANDSCAPE ARCHITECT
EVERGREEN DESIGN GROUP
15455 DALLAS PARKWAY, SUITE 600
ADDISON, TX 75001
DARCY BRANDON
PHONE: (800) 680-6630
EMAIL: DARCY@EVERGREENDESIGNGROUP.COM

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 13th DAY OF September, 2022.

WITNESS OUR HANDS, THIS 15th DAY OF March, 2023.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

NO.	DATE	REV. BLDG A & C REVISION

www.urbanstrategy.us
TEL: 214-369-3339

4222 Main Street
Dallas, Texas 75226
Firm Registration #F-2323

PRELIMINARY
NOT FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSE.
PREPARED UNDER THE
SUPERVISION OF
ROBERT L. PRUETT, JR.
P.E. # 53662
ON
2/28/2023

ADVANTAGE STORAGE
STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

AMENDED SITE PLAN

PREPARED ON: 12/23/2022	PROJECT: ADVANTAGE STORAGE
CLIENT: ADVANTAGE STORAGE	DRAWN BY: LL
DESIGNED BY: LL	REVIEWER: BP
U.S. PROJECT: 22877	SHEET TITLE: SP-1

SHEET
SP-1

FILE NAME: CADRE.DWG
LAST MODIFIED BY: VICTOR.ANDREJE
LAST PLOTTED ON: 2/28/2023 11:59 AM
PLOTTER: HP DesignJet T1200

NO.	REVISIONS	DESCRIPTION	DATE



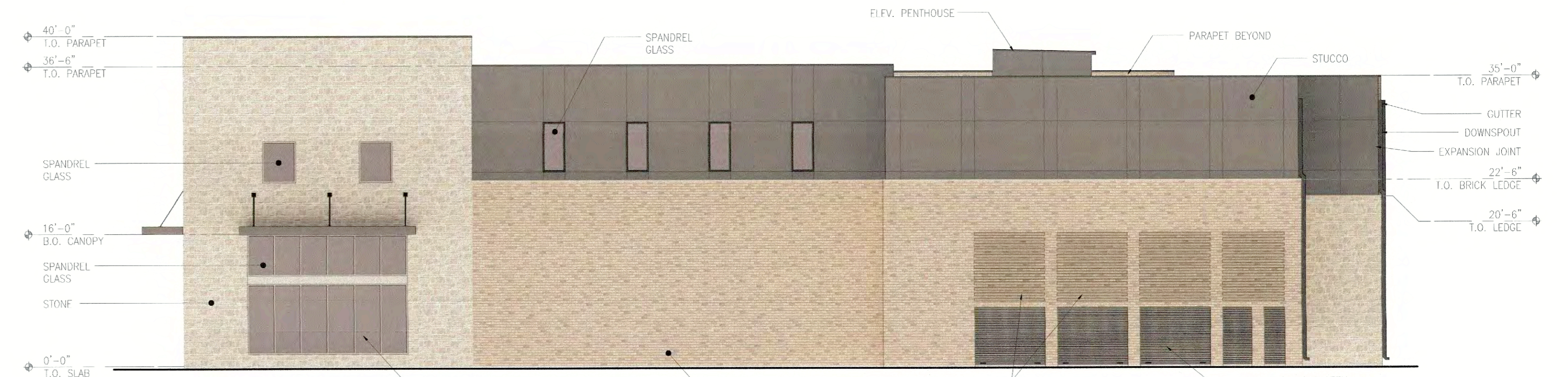
EXTERIOR WALL FINISH MATERIALS

BRICK	29%	1,743 SF
STUCCO	32%	1,936 SF
STONE	39%	2,413 SF
TOTAL	100%	6,092 SF

BUILDING TOTALS

BRICK	51%	11,167 SF
STUCCO	25%	5,512 SF
STONE	24%	5,428 SF
TOTAL	100%	22,107 SF

BLDG A WEST ELEVATION
4
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	43%	2,033 SF
STUCCO	30%	1,407 SF
STONE	27%	1,261 SF
TOTAL	100%	4,701 SF

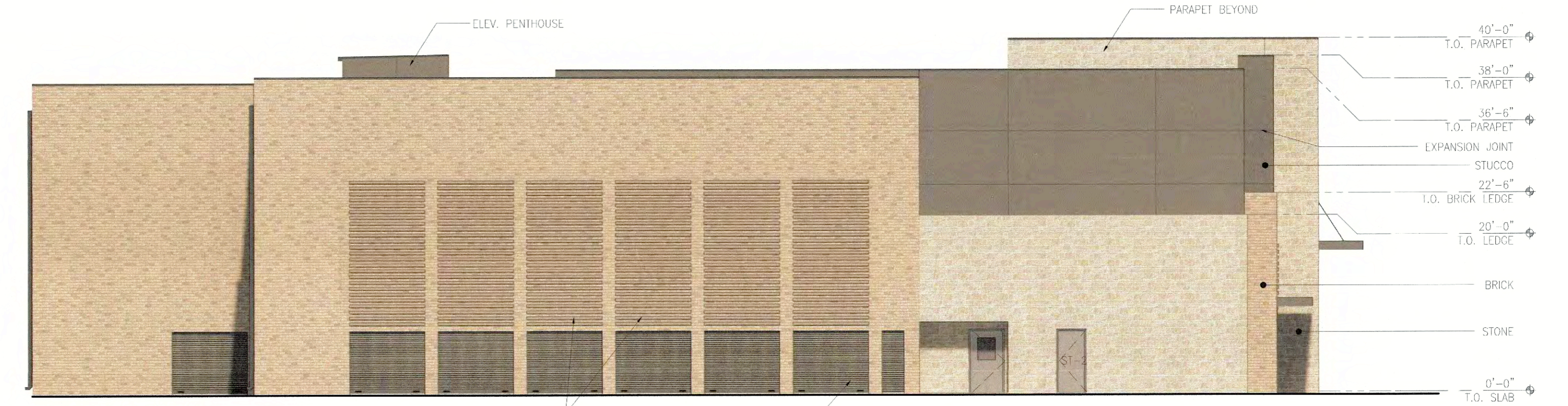
BLDG A SOUTH ELEVATION
3
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	65%	4,163 SF
STUCCO	23%	1,489 SF
STONE	12%	773 SF
TOTAL	100%	6,425 SF

BLDG A EAST ELEVATION
2
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	67%	3,411 SF
STUCCO	14%	688 SF
STONE	19%	981 SF
TOTAL	100%	5,080 SF

BLDG A NORTH ELEVATION
1
SCALE: 3/32" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 13th day of September, 2022.

[Signature]
Chairman, Planning & Zoning Commission, Director of Planning & Zoning

exterior elevations - bldg a

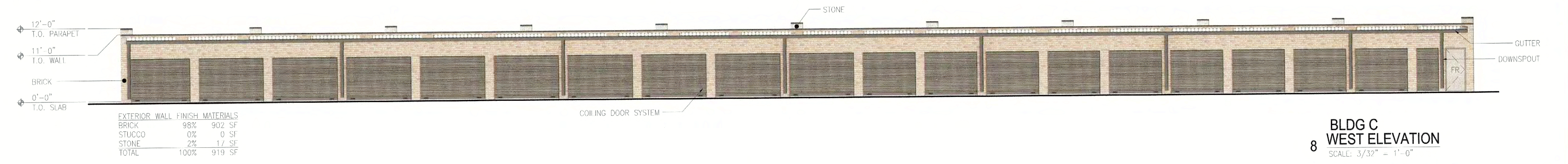
Advantage Storage
New Storage Facility
1701 State Highway 276
Rockwall, Texas

PROJECT NUMBER
2225
DATE
01.11.23
SHEET NUMBER
A6.0

DESIGN DEVELOPMENT REVIEW

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

NO.	REVISIONS	DATE



EXTERIOR WALL FINISH MATERIALS

BRICK	98%	902 SF
STUCCO	0%	0 SF
STONE	2%	17 SF
TOTAL	100%	919 SF

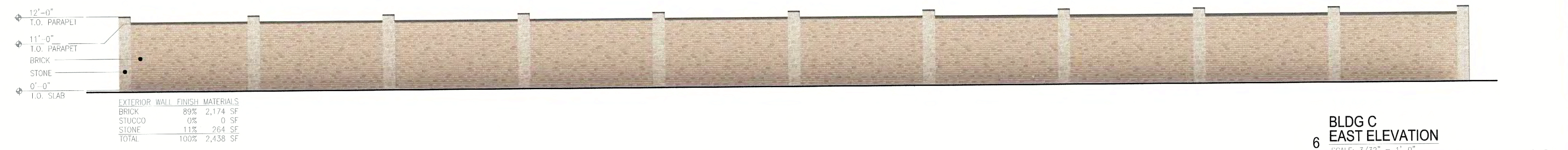
BUILDING TOTALS

BRICK	97%	3,504 SF
STUCCO	0%	0 SF
STONE	8%	308 SF
TOTAL	100%	3,810 SF

EXTERIOR WALL FINISH MATERIALS

BRICK	96%	282 SF
STUCCO	0%	0 SF
STONE	4%	13 SF
TOTAL	100%	295 SF

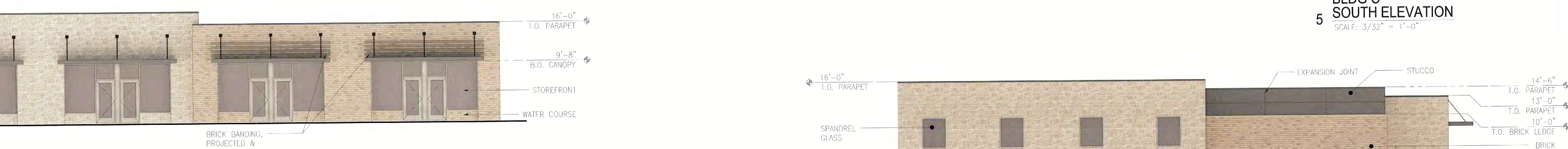
BLDG C WEST ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	89%	2,174 SF
STUCCO	0%	0 SF
STONE	11%	264 SF
TOTAL	100%	2,438 SF

BLDG C NORTH ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	47%	515 SF
STUCCO	2%	18 SF
STONE	51%	552 SF
TOTAL	100%	1,085 SF

BUILDING TOTALS

BRICK	66%	4,573 SF
STUCCO	7%	471 SF
STONE	27%	1,843 SF
TOTAL	100%	6,887 SF

BRICK BANDING, PROJECTED & CONTRASTING COLOR

BLDG D WEST ELEVATION
SCALE: 3/32" = 1'-0"



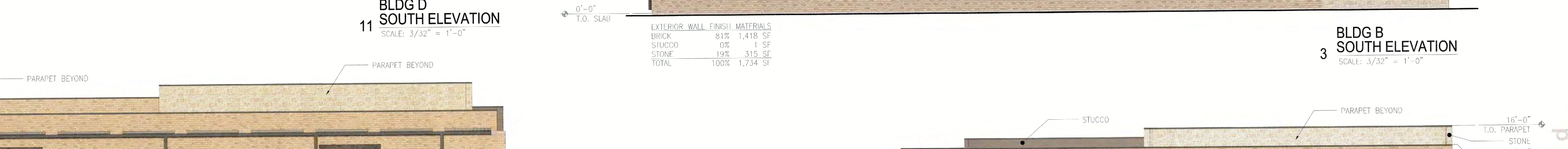
EXTERIOR WALL FINISH MATERIALS

BRICK	23%	297 SF
STUCCO	10%	132 SF
STONE	67%	861 SF
TOTAL	100%	1,290 SF

BUILDING TOTALS

BRICK	63%	3,479 SF
STUCCO	4%	205 SF
STONE	33%	1,832 SF
TOTAL	100%	5,516 SF

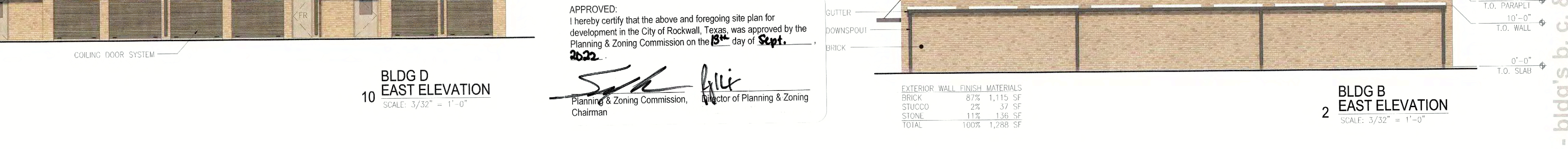
BLDG B WEST ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	81%	1,418 SF
STUCCO	0%	1 SF
STONE	19%	315 SF
TOTAL	100%	1,734 SF

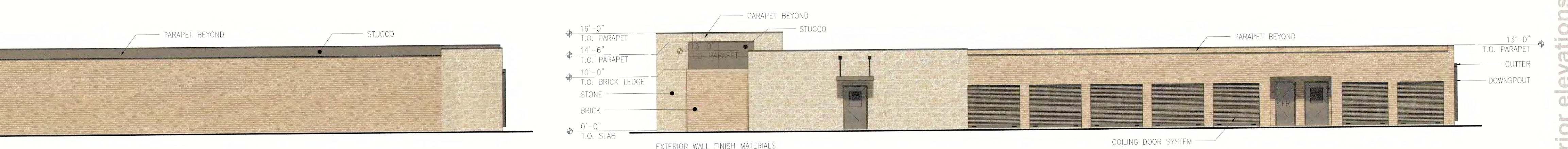
BLDG B SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	87%	1,115 SF
STUCCO	2%	37 SF
STONE	11%	136 SF
TOTAL	100%	1,288 SF

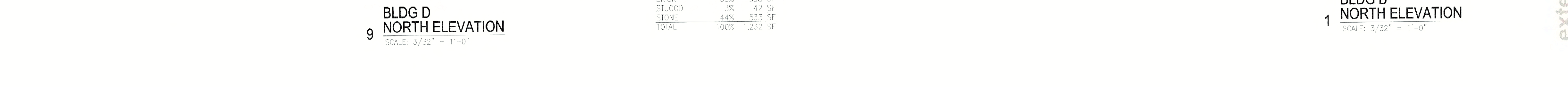
BLDG B EAST ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	57%	1,352 SF
STUCCO	19%	450 SF
STONE	24%	582 SF
TOTAL	100%	2,384 SF

BLDG D SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	74%	1,659 SF
STUCCO	0%	0 SF
STONE	26%	572 SF
TOTAL	100%	2,231 SF

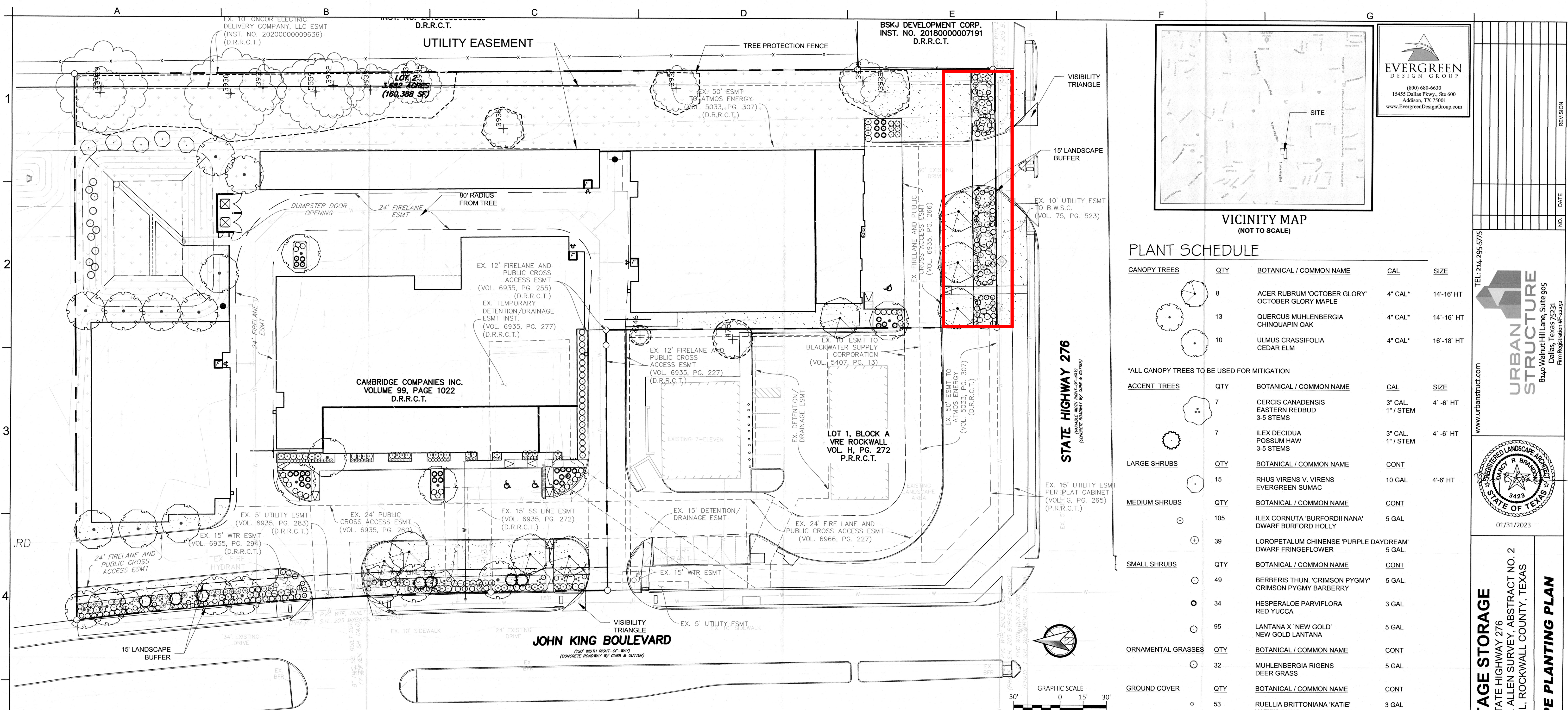
BLDG D NORTH ELEVATION
SCALE: 3/32" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 18th day of Sept., 2022.
[Signature]
Director of Planning & Zoning
Chairman

exterior elevations - bldg's b, c, & d

Advantage Storage
New Storage Facility
1701 State Highway 276
Rockwall, Texas

PROJECT NUMBER
2225
DATE
01.11.23
SHEET NUMBER
A6.1



EVERGREEN DESIGN GROUP
 (800) 680-6630
 15455 Dallas Pkwy., Ste 600
 Dallas, TX 75001
 www.EvergreenDesignGroup.com

VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	8	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	4" CAL*	14'-16" HT
	13	QUERCUS MUHLENBERGIA CHINGUAPIN OAK	4" CAL*	14'-16" HT
	10	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL*	16'-18" HT

*ALL CANOPY TREES TO BE USED FOR MITIGATION

ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	7	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	3" CAL 1" / STEM	4'-6" HT
	7	ILEX DECIDUA POSSUM HAW 3-5 STEMS	3" CAL 1" / STEM	4'-6" HT

LARGE SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	15	RHUS VIRENS V. VIRENS EVERGREEN SUMAC	10 GAL	4'-6" HT

MEDIUM SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	105	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL	
	39	LOROPETALUM CHINENSE 'PURPLE DAYDREAM' DWARF FRINGEFLOWER	5 GAL	

SMALL SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	49	BERBERIS THUN. 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY	5 GAL	
	34	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	95	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	5 GAL	

ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	32	MUHLENBERGIA RIGENS DEER GRASS	5 GAL	
	53	RUPELLIA BRITTONIANA 'KATIE' KATIE'S DWARF PETUNIA	3 GAL	

GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	13,325 SF	CYNODON TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	
	38,885 SF	BLACKLAND PRAIRIE SEED MIX NATIVE AMERICAN SEED (SEEDSOURCE.COM)	HYDROSEED	

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	15' WIDE BUFFER REQ. W/ 2 CANOPY + 4 ACCENT TREE PER 100 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE, 30" HIGH, MIN. - 48" MAX. HT.
JOHN KING BLVD.: REQUIRED PLANTING: PROVIDED 15' BUFFER:	±344.8' STREET FRONTAGE 7 CANOPY TREES, 14 ACCENT TREES, BERM W/ SHRUBS 7 NEW CANOPY TREES, 14 ACCENT TREES W/ BERM AND SHRUBS (30" HIGH MIN.)
ST. HWY. 276 OVERLAY DISTRICT: ±167.8 STREET FRONTAGE	15' WIDE LANDSCAPE BUFFER W/ GR. COVER, BUILT-UP BERM & SHRUBS (30" MIN.-48" MAX) ALONG ENTIRE LENGTH OF FRONTAGE. 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FEET OF FRONTAGE
REQUIRED PLANTING: PROVIDED 15' BUFFER:	3 CANOPY TREES, 7 ACCENT TREES, BERM W/ SHRUBS UNABLE TO PROVIDE REQ. TREES DUE TO EASEMENTS & UNDERGROUND UTILITIES (WATER, STORM, SANITARY) REPLACE TREES W/ 10 LG. SHRUBS, BERM WITH SHRUBS (30" HI MIN.-48" MAX.)
EAST PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED PD-10
NORTH PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED LIGHT INDUSTRIAL
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	NOT APPLICABLE
SCREENING FROM RESIDENTIAL	NOT APPLICABLE
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±160,353 SF 32,071 SF (20%) ±58,742 SF (36.6%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	±40,718 SF (69%)
MIN. SIZE OF AREAS:	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASIN (XERISCAPE OPTION):	MIN. (1) SHRUB/ORNAMENTAL GRASS PER 750 SF OF DRY LAND AREA
PROPOSED DETENTION BASIN LANDSCAPING:	5,649 / 750 = 8 SHRUBS + NATIVE GRASSES
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: REQ. PARKING LOT LANDSCAPING:	±29,004 SF ±1,450 SF (29.004 x 5%) AND (1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES INTERNAL TO PARKING AREAS (PARKING AREA OVER 20,000 SF) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
PROPOSED PARKING LOT LANDSCAPING:	±1,528 SF (5%) 34 PARKING SPACES / 10 = 3 TREES 5 CANOPY TREES
TREES PROVIDED:	

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	119.75"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (31) TO BE PLANTED ONSITE:	124.0"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL):	0"
TOTAL MITIGATION PROVIDED:	124.0"

UTILITY SCREENING NOTE:
GROUND MOUNTED EQUIPMENT AND AIR CONDITIONING UNITS SHALL BE SCREENED UTILIZING PLANTINGS, BERMS, WALLS MATCHING THE MAIN STRUCTURE, OR AN ARCHITECTURAL FEATURE THAT IS INTEGRAL TO THE BUILDING'S DESIGN.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15th DAY OF September 2022.

WITNESS OUR HANDS, THIS 15th DAY OF March, 2023

PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

SITE DATA TABLE

EXISTING USE:	VACANT
PROPOSED USE:	MINI-WAREHOUSE & OFFICE SUITES
EXISTING ZONING DISTRICT:	PLANNED DEVELOPMENT (PD-10)
SITE AREA (LOT 2):	3.682 AC (160,388 SF)
SITE AREA (LOT 3):	2.565 AC (111,719 SF)
TOTAL SITE AREA:	6.247 AC (272,107 SF)
FOR LOT 2 ONLY	
BUILDING AREA	MINI-WAREHOUSE OFFICE SUITES
BUILDING A (3 STORIES):	69,250 SF 4,400 SF
BUILDING B (1 STORY):	11,350 SF 0 SF
BUILDING C (1 STORY):	4,000 SF 0 SF
BUILDING D (1 STORY):	13,100 SF 3,000 SF
TOTAL BUILDING AREA:	105,100 SF
TOTAL BUILDING FOOTPRINT AREA:	56,000 SF
TOTAL STORAGE UNITS:	635 UNITS
REQUIRED PROVIDED	
MAXIMUM LOT COVERAGE:	96,233 SF (60%) 56,000 SF (35%)
FLOOR TO AREA RATIO:	4:1 0.66:1
MAXIMUM BUILDING HEIGHT:	60 FT 42 FT
LANDSCAPE AREA:	32,078 SF (20%) 58,962 SF (36.6%)
PARKING REQUIRED:	
MINI-WAREHOUSE OFFICE SUITES	
9 STALLS 25 STALLS	
(3 STALLS + 1100 UNITS)	(1/300 SF)
TOTAL PARKING REQUIRED:	34 STALLS
TOTAL PARKING PROVIDED:	34 STALLS

NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING STANDARDS TO BE FOLLOWED FOR A NON-RESIDENTIAL DEVELOPMENT.

TEL: 214-295-5775

www.urbanstructure.com

URBAN STRUCTURE
840 Walnut Hill Lane, Suite 905
Dallas, Texas 75231
Firm Registration #F-22252

REVISION

DATE

NO

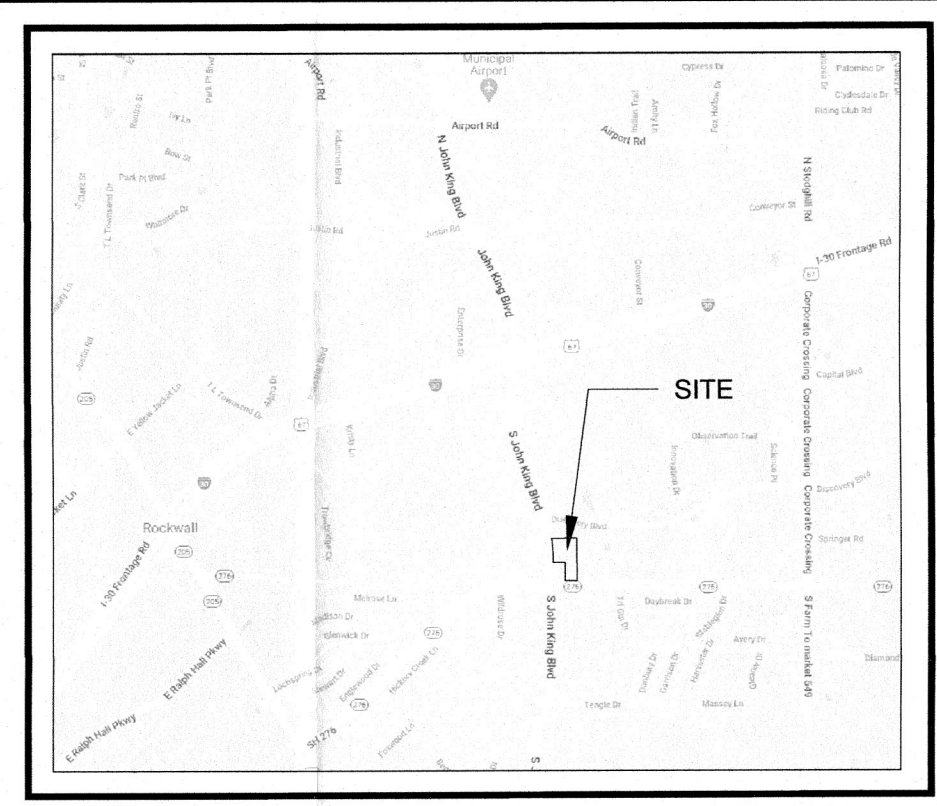
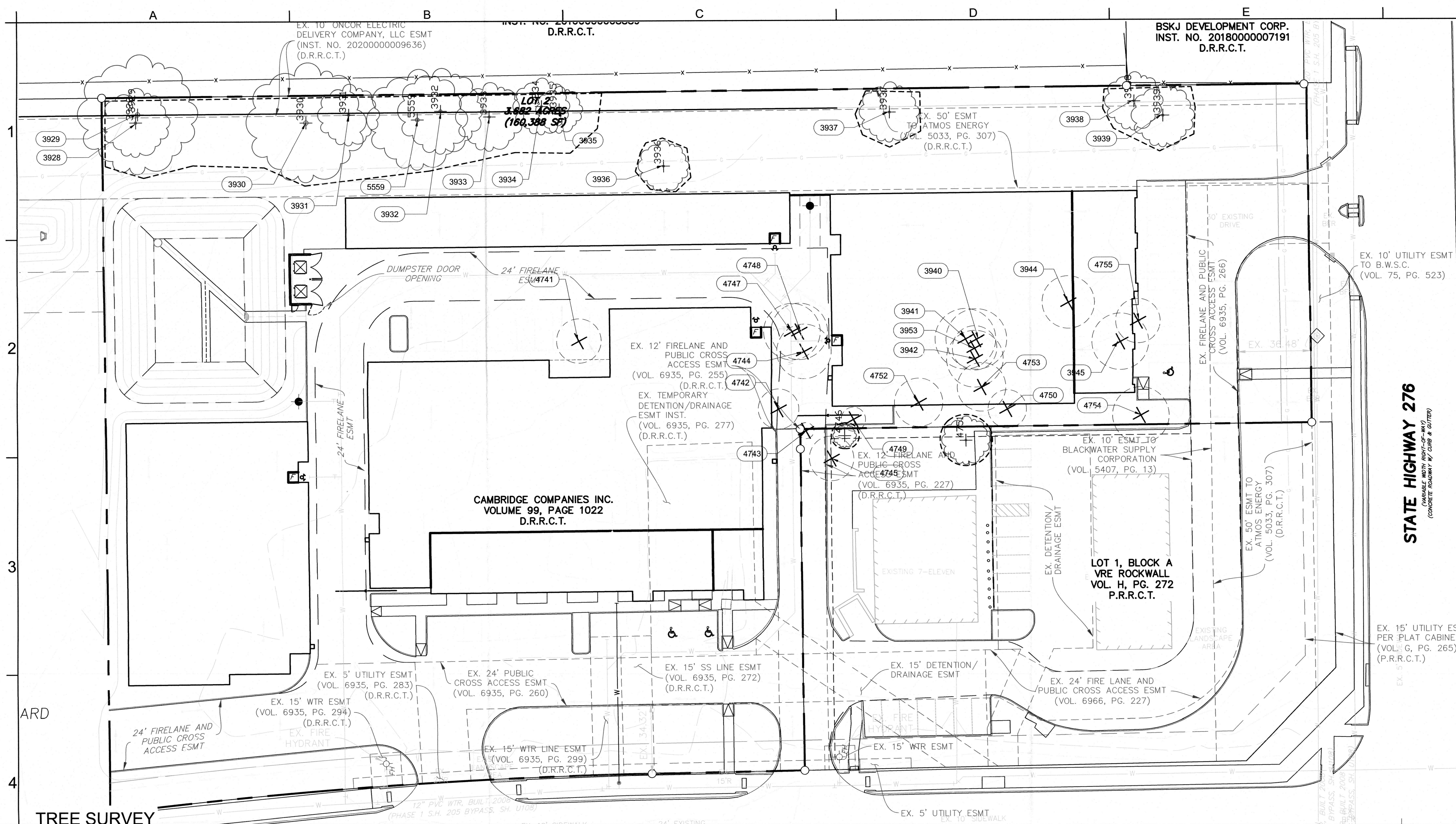
10/31/2023

ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

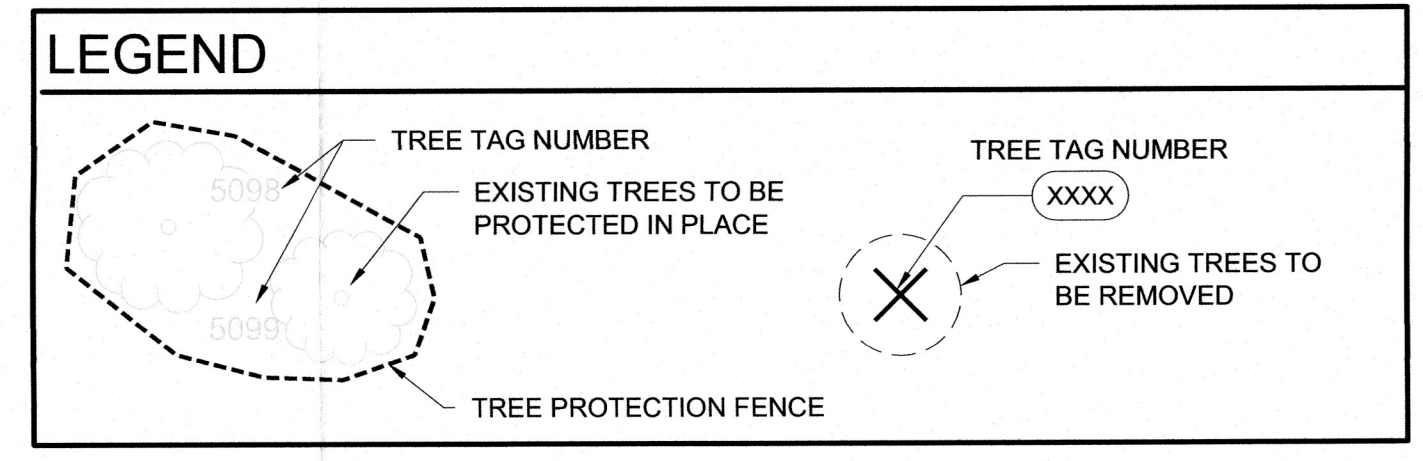
LANDSCAPE PLANTING PLAN

PROJECT: 07/14/2022
CLIENT: ADVANTAGE STORAGE
DRAWN BY: LL
DESIGNER: LL
REVIEWER: BP
U.S. PROJECT: 22877

SHEET TITLE: LP-1



VICINITY MAP
(NOT TO SCALE)



NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.

TREE SURVEY

TAG#	SPECIES	DBH (INCHES)	FEATURE TREE PRESERVE	FUTURE TREE REMOVE 1:2 MITIGATION	PRIMARY PROTECTED PRESERVE	PRIMARY PROTECTED REMOVE 1:1 MITIGATION	SECONDARY PROTECTED PRESERVE	SECONDARY PROTECTED REMOVE 0.5:1 MITIGATION	NON-PROTECTED	NOTES
3928	HACKBERRY CELTIS OCCIDENTALIS	16					16			DAMAGED TREE
3929	HACKBERRY CELTIS OCCIDENTALIS	29	29							POISONOUS VINES ROT
3930	HACKBERRY CELTIS OCCIDENTALIS	28	28							ROT HAZARD
3931	HACKBERRY CELTIS OCCIDENTALIS	14					14			POISONOUS VINES
3932	HACKBERRY CELTIS OCCIDENTALIS	20					20			DAMAGED TREE
3933	HACKBERRY CELTIS OCCIDENTALIS	16					16			CAVITIES
3934	HACKBERRY CELTIS OCCIDENTALIS	13					13			IRREGULAR CANOPY
3935	HACKBERRY CELTIS OCCIDENTALIS	18					18			
3936	HACKBERRY CELTIS OCCIDENTALIS	12					12			HAZARD ROT
3937	HACKBERRY CELTIS OCCIDENTALIS	14					14			ROT AT BASE
3938	HACKBERRY CELTIS OCCIDENTALIS	14					14			FENCELINE
3939	HACKBERRY CELTIS OCCIDENTALIS	15					15			ROT
3940	HACKBERRY CELTIS OCCIDENTALIS	15					15			IRREGULAR CANOPY
3941	HACKBERRY CELTIS OCCIDENTALIS	15					15			CROWDED
3942	HACKBERRY CELTIS OCCIDENTALIS	14					14			IRREGULAR CANOPY
3944	HACKBERRY CELTIS OCCIDENTALIS	13					13			DECLINE
3945	HACKBERRY CELTIS OCCIDENTALIS	14					14			LEANING POISONOUS VINES
3953	HACKBERRY CELTIS OCCIDENTALIS	11					11			POISONOUS VINES IRREGULAR CANOPY
3953	HACKBERRY CELTIS OCCIDENTALIS	18					18			HAZARD ROT
4740	EASTERN RED CEDAR JUNIPEROUS VIRGINIANA	11					11			
4741	EASTERN RED CEDAR JUNIPEROUS VIRGINIANA	11					11			IRREGULAR CANOPY
4742	PEAR PYRUS CALLERYANA	10			10					IRREGULAR CANOPY TRUNK DECAY
4743	HERCULES CLUB ZANTHOXYLUM CLAVAHERCULIS	4			4					
4744	EASTERN RED CEDAR JUNIPEROUS VIRGINIANA	13.5					13.5			
4745	HACKBERRY CELTIS OCCIDENTALIS	11					11			
4747	EASTERN RED CEDAR JUNIPEROUS VIRGINIANA	14					14			POISONOUS VINES
4748	EASTERN RED CEDAR JUNIPEROUS VIRGINIANA	14					14			IRREGULAR CANOPY POISONOUS VINES
4749	HONEY LOCUST	6					6			NON-PROTECTED TREE
4750	HONEY LOCUST	9.5					9.5			NON-PROTECTED TREE
4752	HONEY LOCUST	12					12			NON-PROTECTED TREE
4753	HACKBERRY CELTIS OCCIDENTALIS	12					12			BRIAR VINES
4754	HACKBERRY CELTIS OCCIDENTALIS	14					14			
4755	HACKBERRY CELTIS OCCIDENTALIS	11					11			IRREGULAR CANOPY POISONOUS VINES
5559	HACKBERRY CELTIS OCCIDENTALIS	24					24			ROT CAVITIES STINGING INSECTS
TOTALS		486	57	0	0	14	176	211.5	27.5	
I:2 MITIGATION				0						
I:1 MITIGATION				0		14				
O:5:1 MITIGATION										
TOTAL MITIGATION (INCHES)		119.75								105.75

TREE MITIGATION SUMMARY
 TOTAL MITIGATION REQUIRED: 119.75"
 MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (31) TO BE PLANTED ON SITE: 124.0"
 MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): 0"
 TOTAL MITIGATION PROVIDED: 124.0"

TREE SURVEY (CONT.)

TAG#	SPECIES	DBH	COMMENTS
4746	HONEY LOCUST	5.5	OFF SITE, TO REMAIN
4751	HACKBERRY CELTIS OCCIDENTALIS	11	OFF SITE, TO REMAIN

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 13th DAY OF Sept. 2022.

WITNESS OUR HANDS, THIS 15th DAY OF March 2023.

PLANNING & ZONING COMMISSION CHAIRMAN: [Signature]
 DIRECTOR OF PLANNING AND ZONING: [Signature]

SITE DATA TABLE

EXISTING USE:	VACANT
PROPOSED USE:	MINI-WAREHOUSE & OFFICE SUITES
EXISTING ZONING DISTRICT:	PLANNED DEVELOPMENT (PD-10)
SITE AREA (LOT 2):	3.682 AC (160,388 SF)
SITE AREA (LOT 3):	2.565 AC (111,719 SF)
TOTAL SITE AREA:	6.247 AC (272,107 SF)
FOR LOT 2 ONLY	
BUILDING AREA:	MINI-WAREHOUSE OFFICE SUITES
BUILDING A (3 STORIES):	69,250 SF 4,400 SF
BUILDING B (1 STORY):	11,350 SF 0 SF
BUILDING C (1 STORY):	4,000 SF 0 SF
BUILDING D (1 STORY):	13,100 SF 3,000 SF
TOTAL BUILDING AREA:	105,100 SF
TOTAL BUILDING FOOTPRINT AREA:	56,000 SF
TOTAL STORAGE UNITS:	635 UNITS
REQUIRED:	PROVIDED:
MAXIMUM LOT COVERAGE:	96,233 SF (60%) 56,000 SF (35%)
FLOOR TO AREA RATIO:	4:1 0.66:1
MAXIMUM BUILDING HEIGHT:	60 FT 42 FT
LANDSCAPE AREA:	32,078 SF (20%) 58,982 SF (36.8%)
PARKING REQUIRED:	
MINI-WAREHOUSE:	9 STALLS
OFFICE SUITES:	25 STALLS (1/300 SF)
TOTAL PARKING PROVIDED:	34 STALLS
TOTAL PARKING REQUIRED:	34 STALLS

NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING STANDARDS TO BE FOLLOWED FOR A NON-RESIDENTIAL DEVELOPMENT.

REVISION

DATE

NO

TEL: 214-295-5775

www.urbanstruct.com

URBAN STRUCTURE
 840 Walnut Hill Lane, Suite 905
 Dallas, Texas 75231
 Firm Registration # 22252

REGISTERED LANDSCAPE ARCHITECT
 STATE OF TEXAS
 3423
 01/31/2023

ADVANTAGE STORAGE
 1701 STATE HIGHWAY 276
 OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

TREESCAPE PLAN

PROJECT: ADVANTAGE STORAGE

CLIENT: ADVANTAGE STORAGE

DRAWN BY: LL

DESIGNER: LL

REVIEWER: BP

U.S. PROJECT: 2227

SHEET TITLE: TREESCAPE PLAN

SHEET: TD-1

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL "T" SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- THE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST. AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

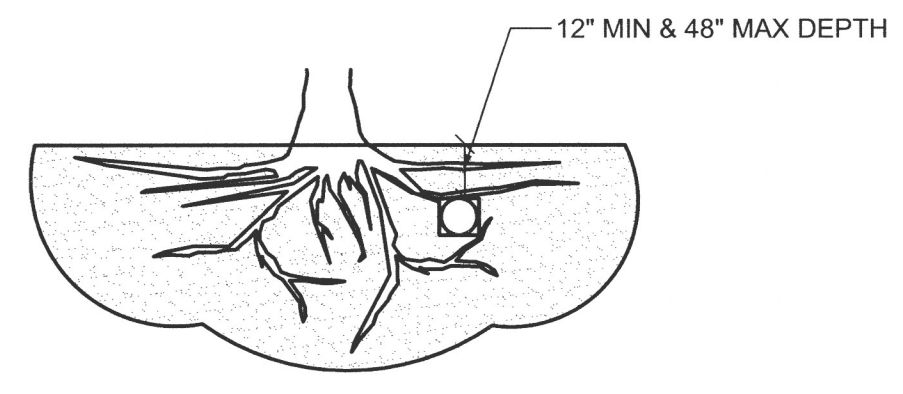
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY, FOR OAKS ONLY. ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION GENERAL NOTES

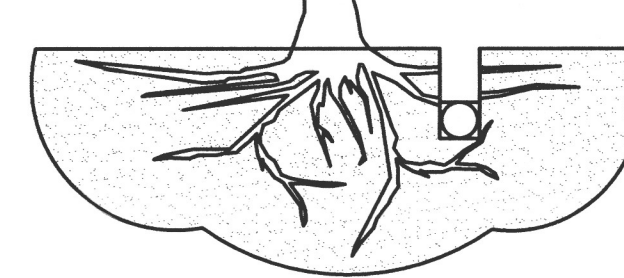
- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED AND PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BRESTH HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.

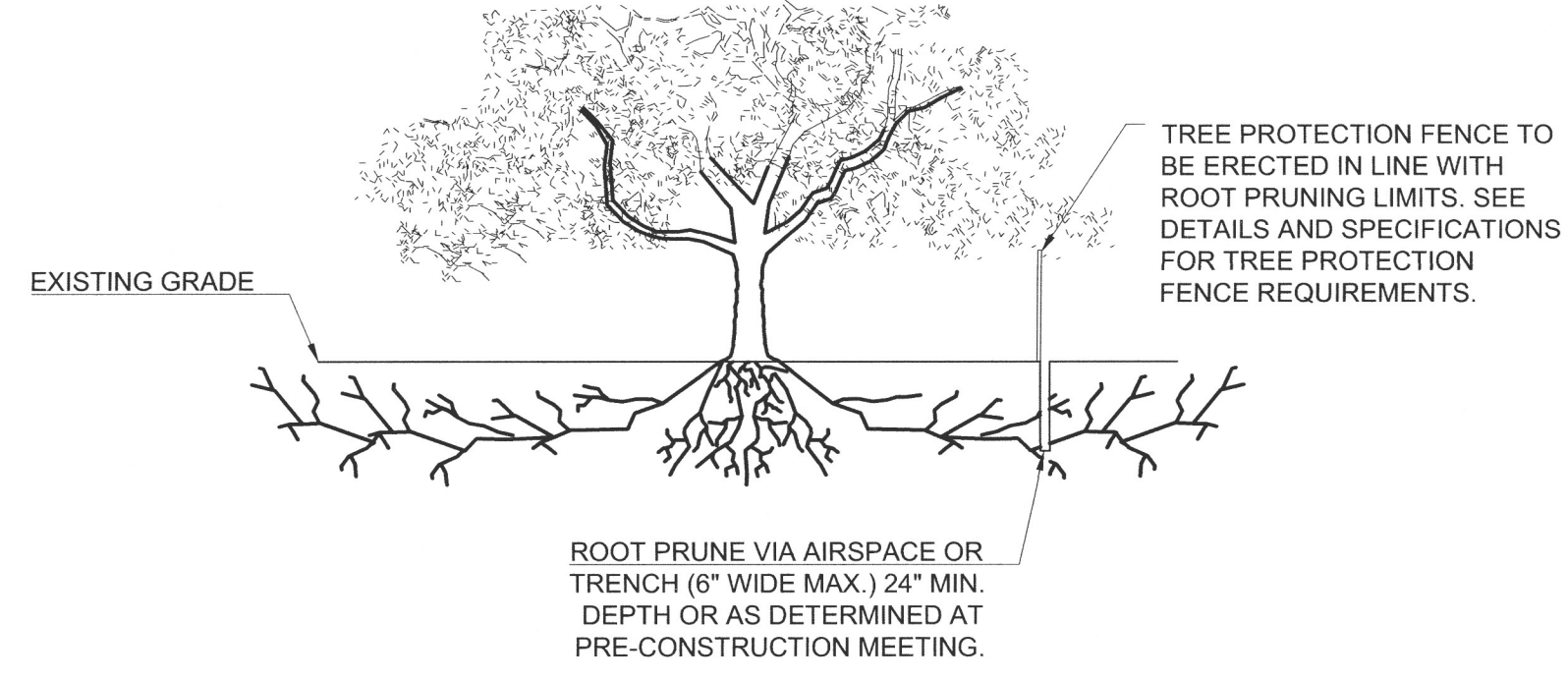


OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

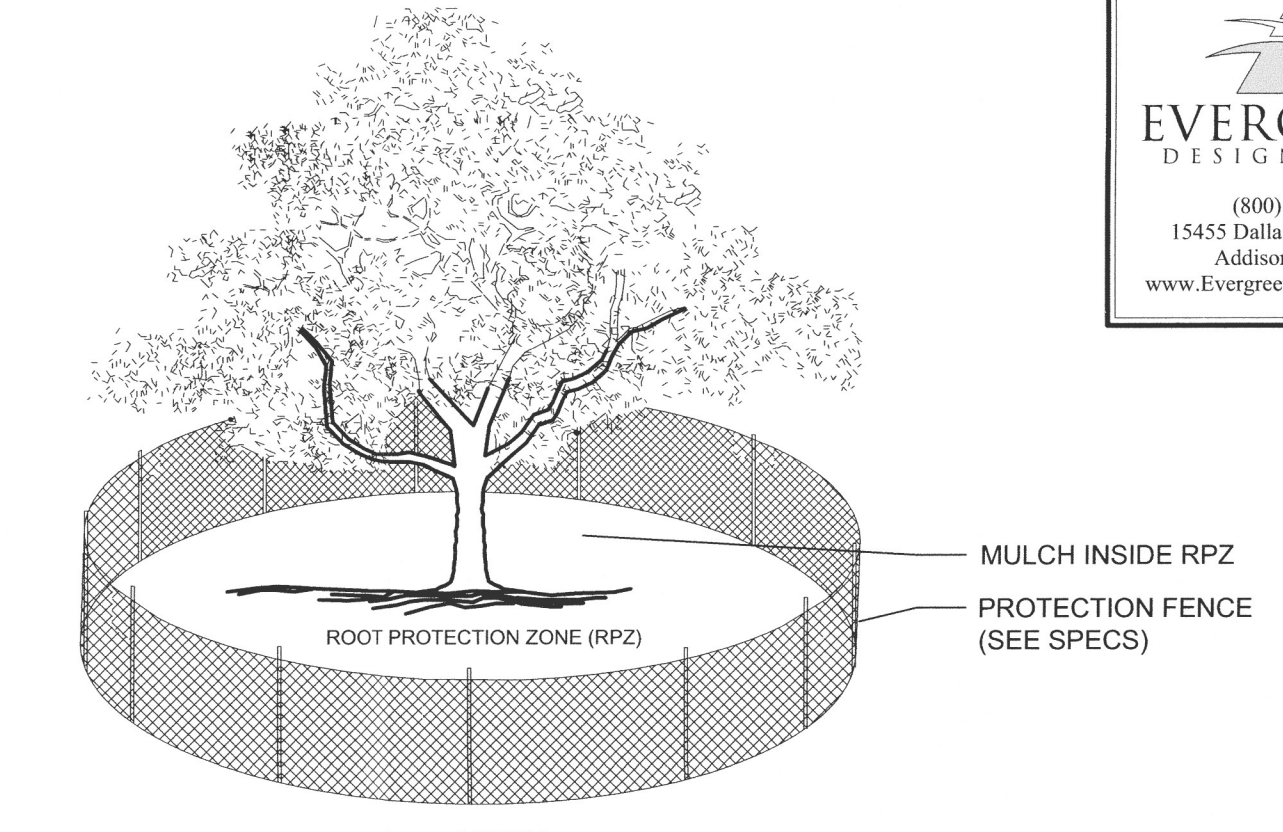
C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



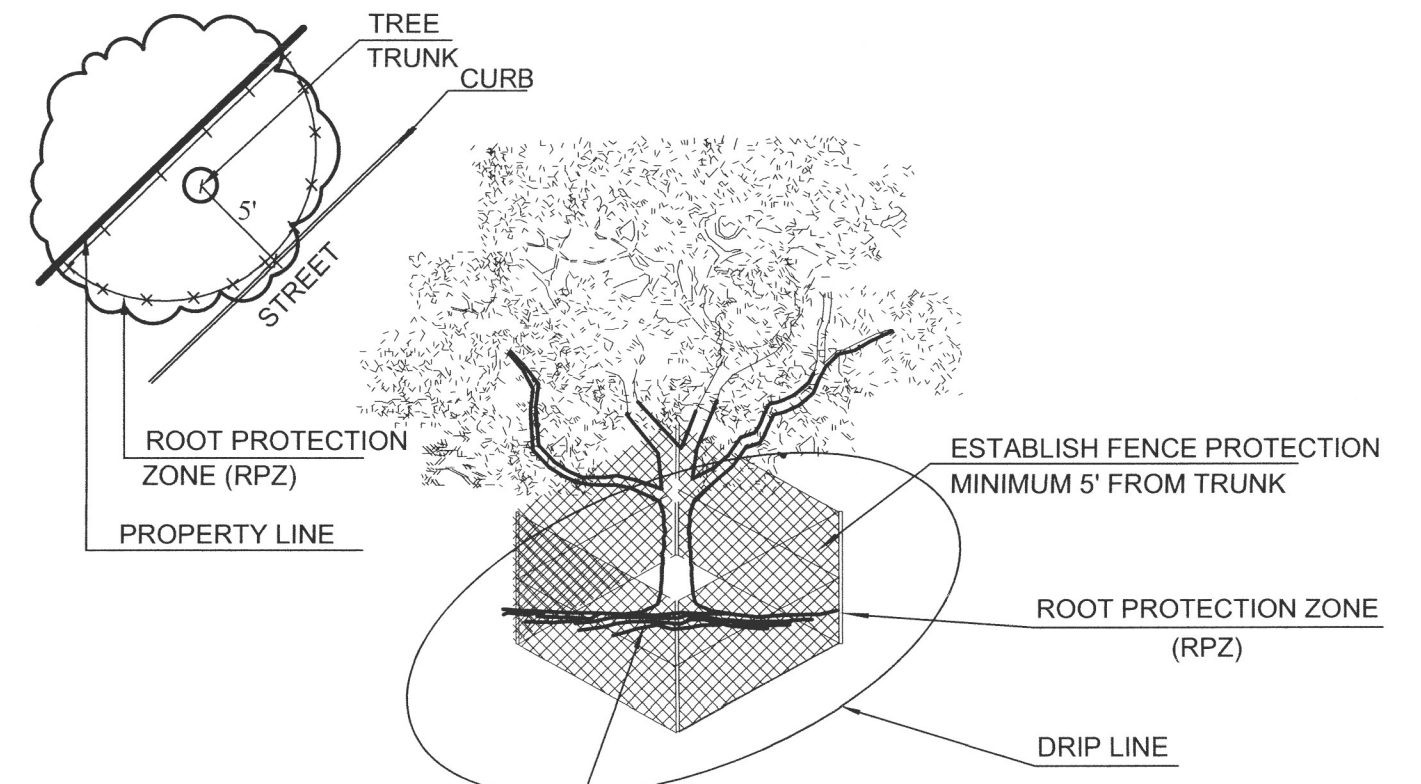
D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



NOTES:

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE



TEL: 214.295.5775

www.urbanstruct.com



ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

TREESCPE DETAILS & SPECS

PREPARED ON: 07/14/2022	CLIENT: ADVANTAGE STORAGE
DRAWN BY: LL	DESIGNER: LL
REVIEWER: BP	U.S. PROJECT: 22577

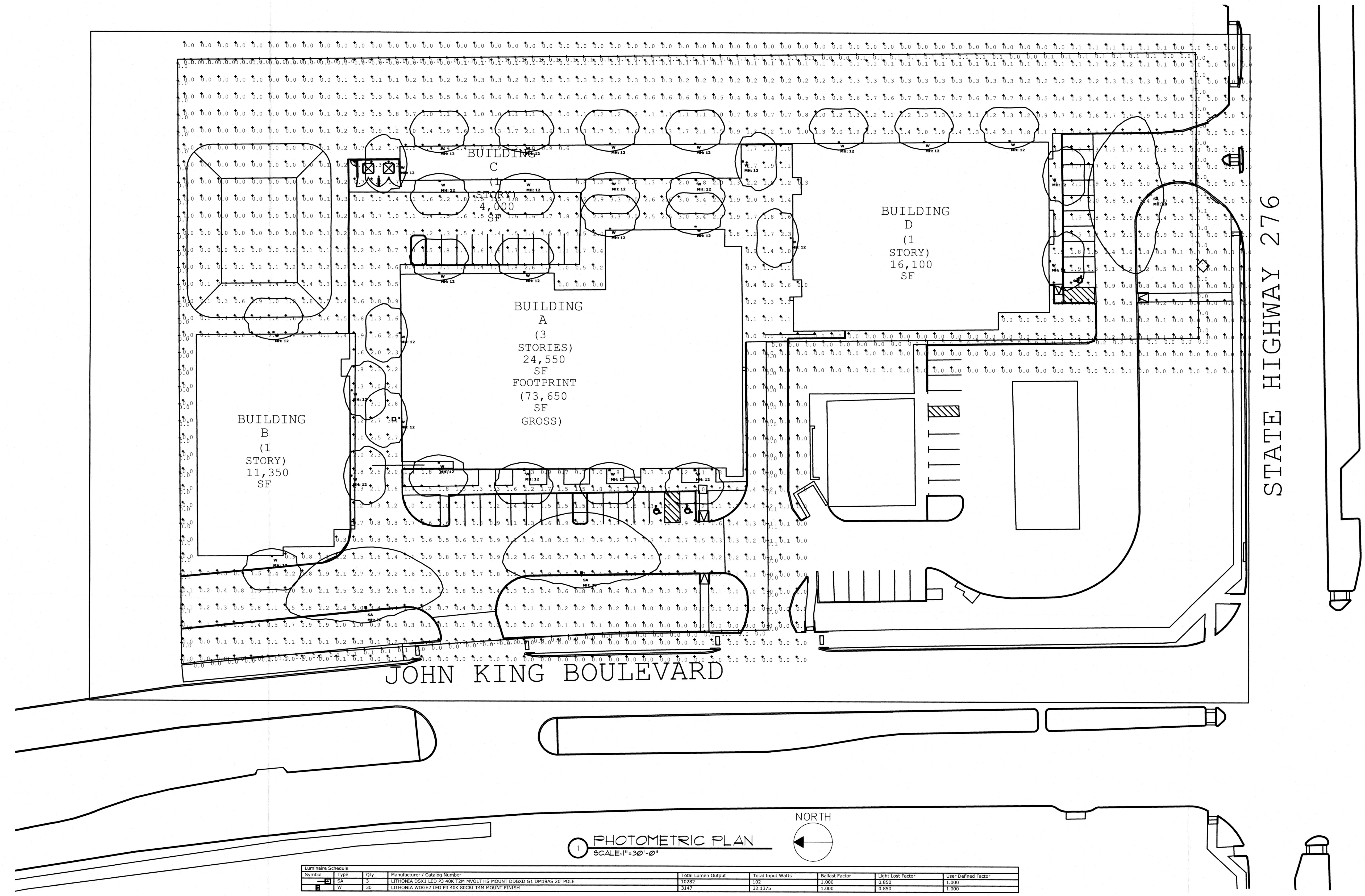
SHEET
TD-2

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15th DAY OF Sept., 2022.

WITNESS OUR HANDS, THIS 15th DAY OF March, 2023.

PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

NO.	DESCRIPTION	DATE
1	FOR REVIEW	1-3-2022



Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Loss Factor	User Defined Factor
□	CA	2	LITHONIA DISK LED P3 40K 12M P/OL T H61 MOUNT DOBKO G1 OH19AS 20' POLE	10292	102	1.000	0.850	1.000
□	W	30	LITHONIA WIDGEZ LED P3 40K 80CRI T4M MOUNT FINISH	3247	32.1375	1.000	0.850	1.000

Calculation Location	Calc. Height (FT.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A.	Fc	0.03	0.2	0.0	N.A.
PARKING ABC & DRIVEWAY		Fc	1.41	3.4	0.0	N.A.
PARKING D & DRIVEWAY		Fc	1.37	3.4	0.0	N.A.

Location	Minimum (Fc)	Average (Fc)	Maximum (Fc)
PARKING ABC & DRIVEWAY	0.0	1.41	3.4
PARKING D & DRIVEWAY	0.0	1.37	3.4

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission on the 15th day of Sept. 2022.

[Signature]
Director of Planning & Zoning
Chairman

photometric plan

ADVANTAGE ROCKWALL
1701 STATE HIGHWAY 276
Rockwall, Tx

PROJECT NUMBER
-
DATE
12.27.22
SHEET NUMBER
PM1.0